

CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA MONDAY, AUGUST 16, 2021

1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

2.0 PUBLIC COMMENT

3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

- 3.1 Lt. Schuldt, Anoka County Sheriff's Office Monthly Report
- 3.2 Ham Lake Fire Department Trustee, Joe Thomas – Ham Lake Fire Relief Association, Bylaw change for a pension benefit increase
- 3.3 PUBLIC HEARING – 6:01 P.M. to consider the vacation of the Baltimore Street NE right-of-way, south of Crosstown Boulevard NE and adoption of a Resolution

4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of August 2, 2021 and Budget Workshop Minutes of August 2, 2021
- 4.2 Approval of claims
- 4.3 Approval of a Temporary One-Day Liquor License for the Dylan Witschen Foundation (non-profit) at the Willow Tree Winery, 828 Constance Boulevard NE on October 23, 2021
- 4.4 Approval of a Temporary One-Day Liquor License for the Ham Lake Lion's (non-profit) at Fitaholic Fitness, 13352 Aberdeen Street NE on September 11, 2021
- 4.5 Approval of a Proclamation proclaiming September 17 – September 23 as Constitution Week
- 4.6 Approval of scheduling a Special City Council meeting on Tuesday, August 24, 2021 at 8:00 a.m.
- 4.7 Road Committee Recommendations:
 - 1) Approval of a Resolution requesting an advancement of MSA Funds
 - 2) Approval of any costs associated with flashing signage be paid by at Da Vinci Academy, which will require an agreement between the City and Da Vinci and a Joint Powers Agreement (JPA) between the City and Anoka County

5.0 PLANNING COMMISSION RECOMMENDATIONS

- 5.1 Jesse Osborne requesting Preliminary Plat approval of Creekside Farms, a 9 lot Commercial Development located in Sections 7 & 8, and rezoning of parcels of land from R-M (Residential Manufactured Mobile Homes) and R-A (Rural Single Family Residential) to CD-2 (Commercial Development II) (this is considered the First Reading of a rezoning Ordinance)

6.0 ECONOMIC DEVELOPMENT AUTHORITY – None

7.0 APPEARANCES – None

8.0 CITY ATTORNEY

- 8.1 Discussion of the First Reading of an Ordinance regarding signage

9.0 CITY ENGINEER

10.0 CITY ADMINISTRATOR

11.0 COUNCIL BUSINESS

11.1 Committee Reports

11.2 Discussion of the 2022 Anoka County Sheriff's Office Law Enforcement Contract and Budget

11.3 Announcements and future agenda items

Ham Lake Fire Relief Association Funding Review

Background:

With retirement of several long term members and current market performance, the Ham Lake Fire Relief Association is significantly overfunded. On an annual basis, the Association undertakes a financial audit and completes a State Auditor reporting form submitted to the City and State detailing the financial status of the Association. Using that form, the Association currently stands at 148% funding thru the end of 2021 based on the current \$4000.00 per year benefit level. Adopting the \$4500.00 per year benefit level, the fund would drop to 134% funded which still allows a significant buffer should economic conditions drastically change.

Liability is composed of Active Member liability which increase every year as members accrue additional service time, as well as Deferred Member liability which remains constant unless an Active member retires without withdrawing payment (Active liability decreases, Deferred liability increases) or a Deferred member withdraws payment (Active liability remains unchanged, Deferred liability decreases).

Available funding is based on current portfolio balance plus anticipated MN Fire State Aid (paid in the fall). For analysis purposes, City contributions and projected market value change are not included.

Available funding:

Portfolio 8/1/2021	\$2,378,000
2021 Fire State Aid	\$ 100,000
2021 Year End available funds	\$2,478,000
2021 Year End Fund	\$2,478,000
2022 Fire State Aid	\$ 100,000
2022 Year End available funds	\$2,578,000

Benefit Level	2021 Active Liability	Deferred Liability	2021 Total Liability	Percent Funded	
\$4,000.00	\$1,415,894.00	\$258,648.00	\$1,674,542.00	147.98	Current
\$4,500.00	\$1,592,880.00	\$258,648.00	\$1,851,528.00	133.83	Proposed
\$5,000.00	\$1,769,866.00	\$258,648.00	\$2,028,514.00	122.15	
Benefit Level	2022 Active Liability	Deferred Liability	2022 Total Liability	Percent Funded	
\$4,000.00	\$1,507,146.00	\$258,648.00	\$1,765,794.00	145.99	Current
\$4,500.00	\$1,695,543.00	\$258,648.00	\$1,954,191.00	131.92	Proposed
\$5,000.00	\$1,883,937.00	\$258,648.00	\$2,142,585.00	120.32	

Liability Based on 2021 MN State Schedule Form

APPENDIX C

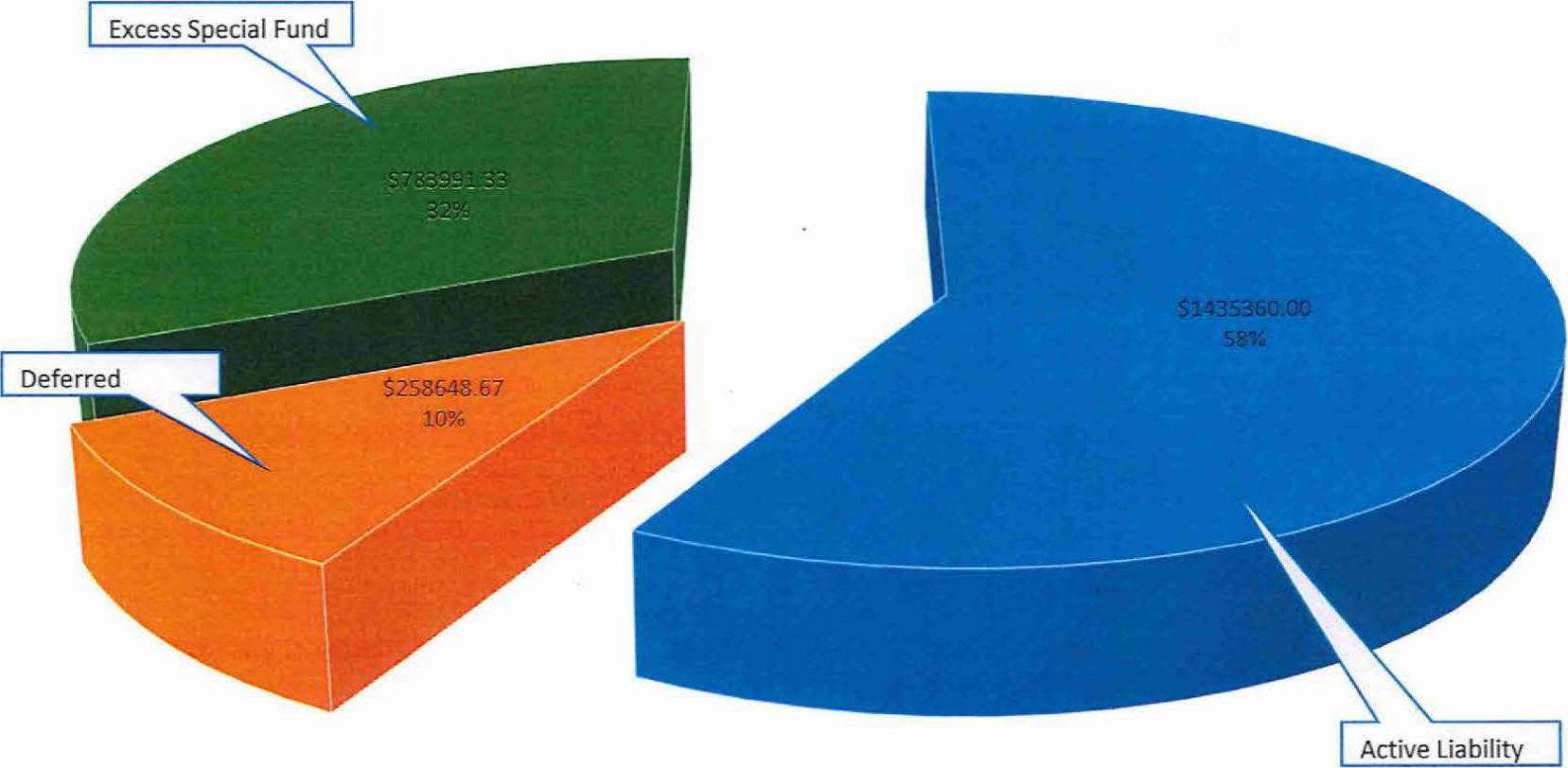
HAM LAKE FIRE RELIEF ASSOCIATION

Benefit Levels

Benefit Level Effective Date	Benefit Level per Year of Active Service	Interest Rate for Deferred Pension Benefit	Date Benefit Approved by Municipality
TBD	\$4,500	NA	Approved by Board 7/8/2021 Approved by Membership 8/9/2021 To Be Approved by Municipality
January 1, 2021	\$4,000	NA	November 16, 2020
January 1, 2019	\$3,850	NA	August 6, 2018
January 1, 2015	\$3,400	NA	October 20, 2014
June 1, 2007	\$3,200	NA	June 4, 2007
April 1, 2006	\$2,100	NA	December 7, 1998
January 1, 1999	\$2,100	NA	December 7, 1998
January 14, 1994	\$1,700	NA	January 14, 1994
January 13, 1989	\$1,400	NA	January 13, 1989
April 4, 1983	\$900	NA	April 4, 1983

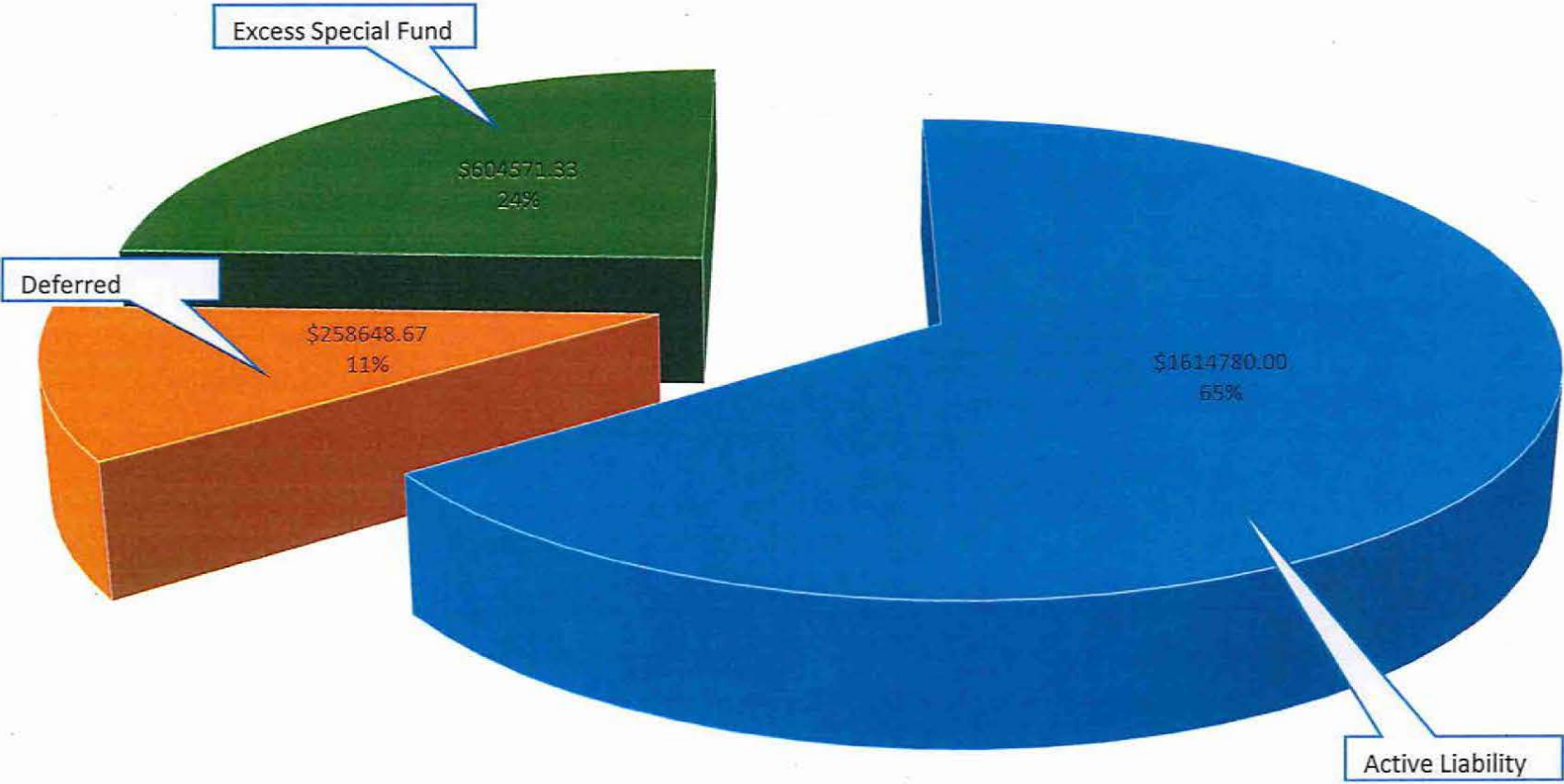
NA means not applicable.
 NR means not required.
 TBD means to be determined

Current \$4,000.00 Annual Benefit With Assumed 0.00% Growth



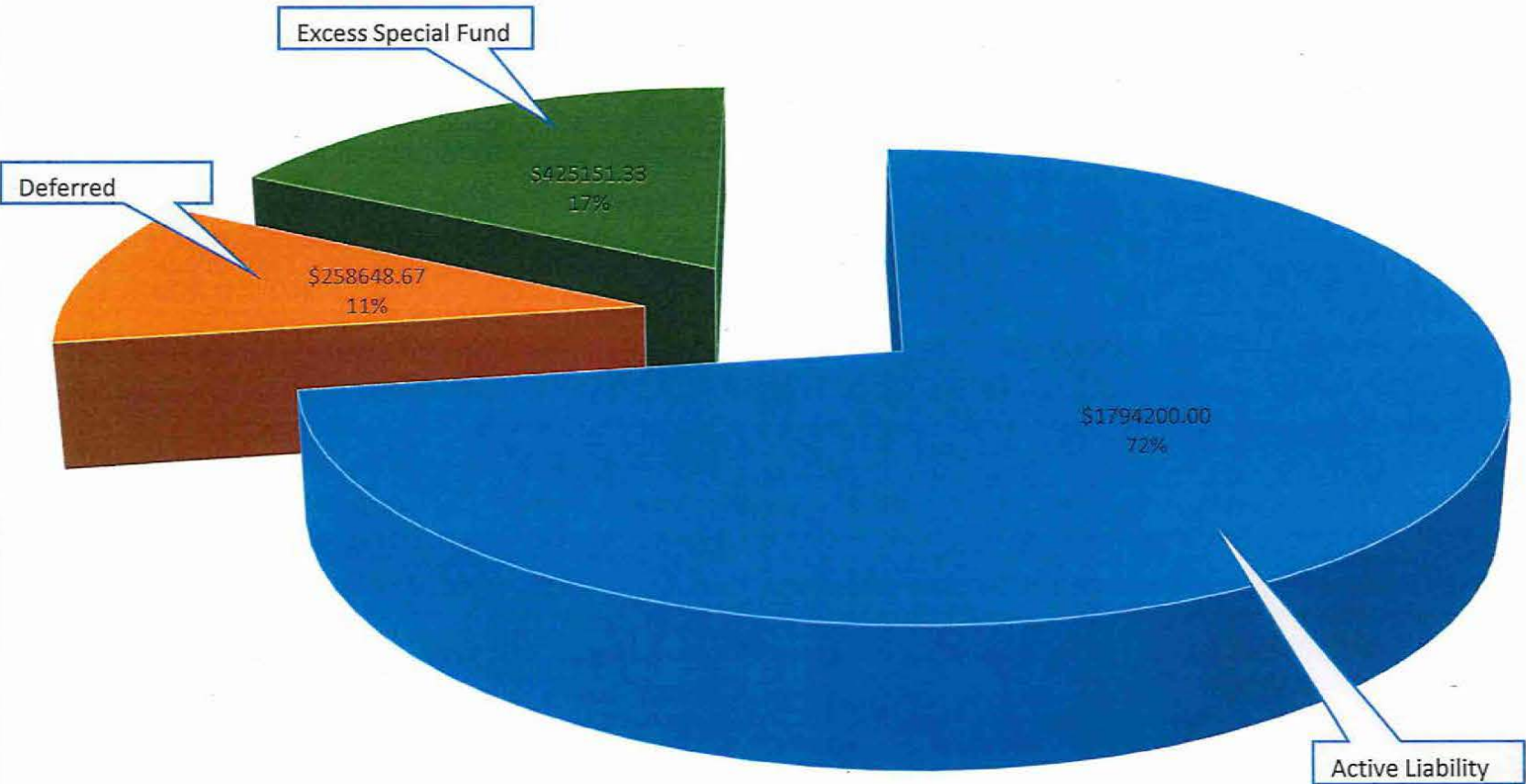
Year-End 2021 Funding %
State of MN = 146.28
Bylaws = 163.96

Proposed \$4,500.00 Annual Benefit With Assumed 0.00% Growth



Year-End 2021 Funding %
State of MN = 132.27
Bylaws = 148.57

Sample \$5,000.00 Annual Benefit With Assumed 0.00% Growth



Year-End 2021 Funding %
State of MN = 120.71
Bylaws = 135.82



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NOTICE OF PUBLIC HEARING VACATION OF PUBLIC LAND

NOTICE IS HEREBY GIVEN, that a Public Hearing will be held before the Ham Lake City Council August 16, 2021 at 6:01 p.m. in the City Council Chambers, City Hall, 15544 Central Avenue N.E. Ham Lake, Minnesota 55304, to hear comments and questions concerning the proposed vacation of the following described land within the City of Ham Lake, Minnesota:

RIGHT-OF-WAY TO BE VACATED:

THAT PART OF BALTIMORE STREET NORTHEAST LYING IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTHWESTERLY RIGHT OF WAY LINE OF COUNTY STATE AID HIGHWAY NO. 18 AND THE EAST LINE OF SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 5; THENCE NORTH 72 DEGREES 52 MINUTES 01 SECONDS WEST ASSUMED BEARING ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE OF COUNTY STATE AID HIGHWAY NO. 18 A DISTANCE OF 743.64 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 02 DEGREES 25 MINUTES 59 SECONDS WEST ALONG THE EAST LINE OF SAID BALTIMORE STREET NORTHEAST A DISTANCE OF 151.50 FEET; THENCE SOUTHERLY, WESTERLY AND NORTHERLY ALONG A NONTANGENTIAL CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 277 DEGREES 24 MINUTES 01 SECONDS, AN ARC LENGTH OF 242.08 FEET, A CHORD LENGTH OF 66.00 FEET AND A CHORD BEARING OF NORTH 87 DEGREES 33 MINUTES 15 SECONDS WEST; THENCE NORTH 02 DEGREES 25 MINUTES 59 SECONDS EAST ALONG THE WEST LINE OF SAID BALTIMORE STREET NORTHEAST A DISTANCE OF 168.80 FEET TO THE SOUTHWESTERLY RIGHT OF WAY LINE OF COUNTY STATE AID HIGHWAY NO. 18; THENCE SOUTH 72 DEGREES 52 MINUTES 01 SECONDS EAST ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE OF COUNTY STATE AID HIGHWAY NO. 18 A DISTANCE OF 68.23 FEET TO THE POINT OF BEGINNING AND THERE TERMINATING,

Said hearing is conducted pursuant to Minnesota Statutes Chapter 412.851.

Dated: August 3, 2021


Dawnette Shimek, Deputy City Clerk

Posted at City Hall between the dates of August 2, 2021 and August 16, 2021.

Published in the Star Tribune on August 5, 2021 and August 12, 2021

RESOLUTION NO. 21-XX

WHEREAS, a public hearing was held before the Ham Lake City Council on the 16th day of August, 2021 at 6:01 p.m. to consider the proposed vacation of certain lands within the City of Ham Lake;

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, that the following described property be vacated;

RIGHT-OF-WAY TO BE VACATED:

THAT PART OF BALTIMORE STREET NORTHEAST LYING IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTHWESTERLY RIGHT OF WAY LINE OF COUNTY STATE AID HIGHWAY NO. 18 AND THE EAST LINE OF SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 5; THENCE NORTH 72 DEGREES 52 MINUTES 01 SECONDS WEST ASSUMED BEARING ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE OF COUNTY STATE AID HIGHWAY NO. 18 A DISTANCE OF 743.64 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 02 DEGREES 25 MINUTES 59 SECONDS WEST ALONG THE EAST LINE OF SAID BALTIMORE STREET NORTHEAST A DISTANCE OF 151.50 FEET; THENCE SOUTHERLY, WESTERLY AND NORTHERLY ALONG A NONTANGENTIAL CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 277 DEGREES 24 MINUTES 01 SECONDS, AN ARC LENGTH OF 242.08 FEET, A CHORD LENGTH OF 66.00 FEET AND A CHORD BEARING OF NORTH 87 DEGREES 33 MINUTES 15 SECONDS WEST; THENCE NORTH 02 DEGREES 25 MINUTES 59 SECONDS EAST ALONG THE WEST LINE OF SAID BALTIMORE STREET NORTHEAST A DISTANCE OF 168.80 FEET TO THE SOUTHWESTERLY RIGHT OF WAY LINE OF COUNTY STATE AID HIGHWAY NO. 18; THENCE SOUTH 72 DEGREES 52 MINUTES 01 SECONDS EAST ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE OF COUNTY STATE AID HIGHWAY NO. 18 A DISTANCE OF 68.23 FEET TO THE POINT OF BEGINNING AND THERE TERMINATING,

Adopted by the City Council of the City of Ham Lake this 16th day of August, 2021.

Gary Kirkeide, Acting Mayor

Denise Webster, City Clerk

05-32-23-43-0010
ALLSTATE BK REAL ESTATE H
4415 HIGHWAY 6
SUGAR LAND, TX 77248

05-32-23-43-0012
HOLIDAY STATION STORES IN
ATTN: TAX DEPT #223
MINNEAPOLIS, MN 55440

05-32-23-43-0016
HOLIDAY STATIONSTORES INC
4567 AMERICAN BLVD WEST
MINNEAPOLIS, MN 55437

05-32-23-42-0008
OPEN RANGE COWBOY CHURC
17525 HIGHWAY 65 NE
HAM LAKE, MN 55304



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CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES MONDAY, AUGUST 2, 2021

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Monday, August 2, 2021 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Mike Van Kirk and Councilmembers Gary Kirkeide, Jim Doyle, Brian Kirkham and Jesse Wilken

MEMBERS ABSENT: None

OTHERS PRESENT: City Attorney, Joe Murphy; City Engineer, Tom Collins; City Administrator, Denise Webster; and Deputy City Clerk, Dawnette Shimek

1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

Mayor Van Kirk called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

2.0 PUBLIC COMMENT

Martin Harstad was present and stated he owns 250 acres of land on the north end of city east of Highway 65. Mr. Harstad stated that 90 acres of the land is tillable and there are no buildings on the property. Mr. Harstad stated that he has previously rented the property for farming. Mr. Harstad stated that he is proposing to grow Christmas trees on the property and he currently has a 40-foot by 60-foot Quonset Hut building in Elk River that he would like to move onto the property to house equipment needed for the Christmas tree farm. Mr. Harstad added that electricity would not be run to the building. Attorney Murphy stated that he will review the information regarding the request by Mr. Harstad. Discussion followed and City Staff will be in contact with Mr. Harstad.

John Swanberg, 3905 149th Avenue NE, stated that 149th Avenue NE was paved back in the 1990's and he never received his check for road right-of-way and the City never put his agricultural fence back up. Discussion followed and staff will research records to determine the status of this matter.

3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS - None

4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

4.1 Approval of minutes of July 19, 2021

4.2 Approval of claims in the amount of \$165,505.08

- 4.3 Approval of the Outdoor Lighting and Maintenance Energy Agreement for street lights in Crosstown Rolling Acres 3rd Addition
- 4.4 Approval of Resolution No. 21-25 scheduling a Public Hearing for the vacation of Baltimore Street NE right-of-way, south of Crosstown Boulevard NE
- 4.5 Approval of accepting the resignation of Firefighter James Thomas
- 4.6 Approval of Compensation Plan Adjustment
- 4.7 Approval of an Off-Site Gambling Permit Spring Lake Park Lions Club to conduct bingo and paddlewheel at Maxx Bar & Grill, 17646 Central Avenue NE on September 18, 2021 and November 6, 2021
- 4.8 Approval of appointment of Fire Department Officers for 2021-2022

Motion by Kirkham, seconded by Doyle, to approve the August 2, 2021 Consent Agenda as written. All in favor, motion carried.

5.0 PLANNING COMMISSION RECOMMENDATIONS

- 5.1 Jason Yang requesting a Conditional Use Permit to operate Sagewerkz LLC, an automotive repair shop at 13408 Highway 65 NE, Suite 114

Motion by Van Kirk, seconded by Kirkham, to concur with the Planning Commission and approve the Conditional Use Permit as requested by Jason Yang to operate Sagewerkz LLC at 13408 Highway 65 NE, Suite 114 subject to the following conditions: (1) No motor vehicle sales (2) Five parking spaces. All parking to be on approved surfaces in designated areas as shown on the site plan: one in front of the suite the business is renting and four in the fenced area. (3) A maximum of three employees (4) No outside storage of liquids, tires, parts, etc. (5) All fluids to be contained and disposed of according to County and State requirements (6) All repairs to be done inside the building-repairs include general auto maintenance and mechanical work such as replacing brakes, headlights and bulbs (7) No bodywork or painting of vehicles at this location (8) Hours of operation to be 7:00 a.m. to 9:00 p.m., Monday through Saturday (9) Security Lighting required (10) Meeting all City, State and County requirements; In addition, it is recommended, per Building and Zoning Official Jones, that property owner, Anthony Revutskiy, have a compliance inspection done on the septic system, prior to acceptance of any other land usage applications for this location, modify the parking arrangement inside of the fenced area to conform with the site plan on file and to provide adequate fire lanes, stripe the parking lot and install handicap parking signs by October 29, 2021. Councilmember Wilken questioned complaints that were noted during the public hearing held by the Planning Commission regarding too many cars on the property. Zoning Official, Mark Jones, has been working with the owner of the property to keep the property in compliance. Councilmember Wilken noted that there is an October 29, 2021 deadline for some items noted in the Planning Commissions motion. All in favor, motion carried.

6.0 ECONOMIC DEVELOPMENT AUTHORITY – None

7.0 APPEARANCES - None

8.0 CITY ATTORNEY – None

9.0 CITY ENGINEER – None

10.0 CITY ADMINISTRATOR – None

11.0 COUNCIL BUSINESS

11.1 Committee Reports

Councilmember Doyle stated that the Road Committee met prior to the City Council meeting and discussed future road project funding and further discussion will take place at the budget meeting that will be held immediately following the City Council meeting.

Mayor Van Kirk stated he would like to further review the Anoka County Sheriff Departments contract during the budget meeting that will be held immediately following the City Council meeting.

11.2 Discussion of an Ordinance regarding signage

Attorney Murphy stated that the City Council does not need to amend the sign ordinance at this meeting, but reminded the City Council that they cannot control content on a sign. Attorney Murphy stated that the Ordinance could differentiate between a sign or a cloth sign on a pole or rope. Discussion followed. **It was the consensus of the City Council to direct Attorney Murphy to draft an ordinance regulating residential signage for the City Council to review at their next meeting.**

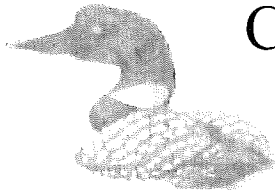
11.3 Announcements and future agenda items

Councilmember Kirkham stated that the Fire Department Relief Association will be approaching the City Council requesting an increase in retirement pay-outs. This will first be discussed with the Fire Department Liaisons.

Councilmember Kirkham stated that the discussions will continue regarding the Fire Department utilizing the well on the property located in the plat of Harmony Estates.

Motion by Kirkeide, seconded by Kirkham, to adjourn the meeting at 6:41 p.m. All in favor, motion carried.

Dawnette Shimek, Deputy City Clerk



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CITY OF HAM LAKE CITY COUNCIL BUDGET WORKSHOP MINUTES MONDAY, AUGUST 2, 2021

The Ham Lake City Council met on Monday, August 2, 2021 immediately following the regularly scheduled Council Meeting in the Conference Room at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Mike Van Kirk and Councilmembers Jim Doyle, Brian Kirkham, Gary Kirkeide, and Jesse Wilken

MEMBERS ABSENT: None

OTHERS PRESENT: Finance Director, Andrea Worcester; City Administrator, Denise Webster; Fire Chief, Mike Raczkowski; and Public Works Superintendent, John Witkowski

1.0 Call to Order

Mayor Van Kirk called the meeting to order at 6:51 p.m.

2.0 Discussion of the 2022 Anoka County Sheriff's Law Enforcement Contract

Council compared the 2021 contract with the 2022 - 36 Hour Contract that included an investigator and decided to meet again with the Sheriff's office. Council a more detailed breakdown on the how vehicle and administrative costs are being calculated. They also want to ask the Sheriff why there was no option for the 2022 contracts that mirrored the 2021 contract. Council directed Administrator Webster to schedule an appointment with Sheriff Stuart.

3.0 Discussion of the proposed 2022 Budget and CIP Review

Finance Director Worcester presented the draft budget with two options. Option A was to use reserves for the deficit and keep the tax levy flat at 3%. The tax rate would decrease an estimated 1.5%. Option B was to do a balanced budget which would increase the tax levy about 6.28%. With this option the tax rate would decrease by an estimated .77%. Mayor Van Kirk reminded council that once the levy was set it could be lowered, but not increased. Council also thought it be wise to utilize the reserves due to economic outlook being uncertain. They decided to present the preliminary budget with a balanced budget at the September 7, 2021 City Council meeting.

4.0 Discussion of Bonding

Mayor Van Kirk started the discussion about bonding by recapping a meeting with Fire Chief Raczkowski, Councilmember Kirkham, Finance Director Worcester, and Administrator Webster. In the meeting there was discussion of equipment and financing for a new fire station, as well as the current state of the Revolving Street Fund and how the City was going to pay for it all. There was some discussion on what the American Rescue Plan Funds could cover, what the City could cover, and if it would be wise to bond at a time when the rates were low for bonds. Council discussed the street fund and that it is in good standing for the next couple of years, but will need to bond in the future to alleviate a deficit in the fund. Council determined it would be best to watch bond rates and

when they start to tick up to then initiate bonding on a road project. They also want to get more solid numbers on a new fire station and the equipment needed for the fire station. They plan to use some of the funds from the fire equipment fund and will bond for the remainder of the new fire station. Finance Director Worcester did remind Council of the City Charter and total debt cannot be more than 50% of the current year budget before an election on bonding would be warranted, so to limit bonding until absolutely needed.

Motion by Kirkeide, seconded by Wilken, to adjourn the meeting at 7:51 p.m. All in favor, motion carried.

Andrea Worcester, Finance Director

**CITY OF HAM LAKE
CLAIMS SUBMITTED TO COUNCIL
August 16, 2021**

CITY OF HAM LAKE

EFTS, CHECKS, AND BANK DRAFTS	8/5/21 - 8/18/21	
EFT	# 1498 - 1508	\$ 49,467.11
CHECKS	# 63194 - 63233	\$ 205,690.67
BANK DRAFTS	DFT0002249 - DFT0002254	\$ 24,355.65
TOTAL EFTS, CHECKS, AND BANK DRAFTS		<u>\$ 279,513.43</u>
PAYROLL CHECKS		
08/13/21		\$ 37,223.81
TOTAL PAYROLL CHECKS		<u>\$ 37,223.81</u>
TRUST CHECKS	#5717 - 5723	\$ 10,650.00
TOTAL OF ALL PAYMENTS		<u>\$ 327,387.24</u>
VOID CHECKS		
EFT		
CHECKS	#63189	\$ (240.00)
TRUST CHECKS	#5651	\$ (150.00)

APPROVED BY THE HAM LAKE CITY COUNCIL THIS 16TH DAY OF AUGUST 2021

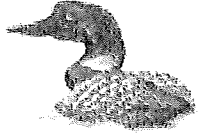
MAYOR

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER



Payment Dates 8/5/2021 - 8/18/2021

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1498	OPTUM BANK - 6011	Health Savings Account-6011	Flexible spending	100-21705	54.17
1499	WELLS FARGO - 6003	Health Savings Account-6003	Flexible spending	100-21705	125.00
1500	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	100.27
1500	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1500	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	112.69
1500	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1501	FASTENAL	FILTERS	Operating supplies	100-43101-2290	8.08
1501	FASTENAL	MISC FASTENERS	Operating supplies	100-43101-2290	14.49
1502	O'REILLY AUTOMOTIVE STORE	ABSORBENT	Equipment parts & supplies	100-42201-2320	54.95
1502	O'REILLY AUTOMOTIVE STORE	#61 HI-POWER BELT	Equipment parts & supplies	100-43101-2320	13.42
1502	O'REILLY AUTOMOTIVE STORE	FIRE #2 GENERATOR OIL FILTE	Building repair & maintenanc	100-42202-2310	6.36
1502	O'REILLY AUTOMOTIVE STORE	FIRE #2 GENERATOR BATTERY	Building repair & maintenanc	100-42202-2310	109.99
1503	RFC ENGINEERING, INC.	147TH, ABERDEEN - HASTING	Engineering	431-43301-3135	255.57
1503	RFC ENGINEERING, INC.	ABERDEEN, 144TH - 145TH	Engineering	431-43301-3135	4,705.57
1503	RFC ENGINEERING, INC.	155TH, NAPLES - LEXINGTON	Engineering	431-43301-3135	289.59
1503	RFC ENGINEERING, INC.	SODERVILLE DRIVE	Engineering	431-43301-3135	274.67
1503	RFC ENGINEERING, INC.	TWIN BIRCH ACRES	Engineering	431-43301-3135	4,211.39
1503	RFC ENGINEERING, INC.	LUND'S LAKEVIEW FOREST	Engineering	431-43301-3135	5,282.33
1503	RFC ENGINEERING, INC.	DAVINCI ACADEMY	Engineering	100-41101-3135	174.86
1503	RFC ENGINEERING, INC.	COUNCIL MEETINGS	Engineering	100-41101-3135	282.47
1503	RFC ENGINEERING, INC.	AMERICAN RESCUE PLAN STO	Engineering	100-41101-3135	543.38
1503	RFC ENGINEERING, INC.	HALF SECTION MAPS	Engineering	100-41101-3135	192.49
1503	RFC ENGINEERING, INC.	BALTIMORE ST VACATION S O	Engineering	100-41101-3135	228.67
1503	RFC ENGINEERING, INC.	ANOKA COUNTY GIS DATA EX	Engineering	100-41101-3135	49.27
1503	RFC ENGINEERING, INC.	COMP PLAN UPDATE	Engineering-comprehensive p	100-41101-3136	315.84
1503	RFC ENGINEERING, INC.	PLANNING/POTENTIAL DEVEL	Engineering	100-41601-3135	49.27
1503	RFC ENGINEERING, INC.	PLANNING/POTENTIAL DEVEL	Engineering	100-41601-3135	376.63
1503	RFC ENGINEERING, INC.	CITY CODE UPDATE	Engineering	100-41601-3135	188.31
1503	RFC ENGINEERING, INC.	ASSESSOR	Engineering	100-41601-3135	40.35
1503	RFC ENGINEERING, INC.	1347 - 159TH AVE STORAGE E	Engineering	100-41601-3135	26.90
1503	RFC ENGINEERING, INC.	PLANNING COMMISSION MEE	Engineering	100-41601-3135	26.90
1503	RFC ENGINEERING, INC.	L4 B3 SILVER FOX RIDGE PON	Engineering	100-42401-3135	13.45
1503	RFC ENGINEERING, INC.	L10 B2 CROSSTOWN ROLLING	Engineering	100-42401-3135	161.41
1503	RFC ENGINEERING, INC.	14-32-23-31-0012 ENCROACH	Engineering	100-42401-3135	26.90
1503	RFC ENGINEERING, INC.	HAM LAKE BUILDING PERMIT	Engineering	100-42401-3135	38.08
1503	RFC ENGINEERING, INC.	L4 B1 HAM LAKE INDUSTRIAL	Engineering	100-42401-3135	26.90
1503	RFC ENGINEERING, INC.	2029 - 151ST AVENUE DRAIN	Engineering	100-42401-3135	36.95
1503	RFC ENGINEERING, INC.	5-YEAR PLAN	Engineering	100-43101-3135	80.70
1503	RFC ENGINEERING, INC.	THOROUGHFARE PLAN	Engineering	100-43101-3135	53.84
1503	RFC ENGINEERING, INC.	PW TRAFFIC SIGN POLICY	Engineering	100-43101-3135	13.45
1503	RFC ENGINEERING, INC.	DRAINAGE ISSUE-SOUTHERLY	Engineering	100-43103-3135	135.49
1503	RFC ENGINEERING, INC.	CCWD RULES AMENDMENTS	Engineering	100-43201-3135	209.39
1503	RFC ENGINEERING, INC.	NPDES	Engineering	230-43201-3135	53.80
1503	RFC ENGINEERING, INC.	181ST AVE, CONCORD - HWY	Engineering	431-43301-3135	26.90
1503	RFC ENGINEERING, INC.	LUND'S LAKEVIEW FOREST TR	Engineering	431-43301-3135	38.19
1503	RFC ENGINEERING, INC.	2021 REHAB	Engineering	431-43301-3135	40.35
1503	RFC ENGINEERING, INC.	E FRONT ROAD, CSAH 18 - 17	Engineering	431-43301-3135	978.90
1503	RFC ENGINEERING, INC.	HAM LAKE STREET CONSTRUC	Engineering	431-43301-3135	1,571.43
1503	RFC ENGINEERING, INC.	COON CREEK COMM PARK	Engineering	890-90001-3135	146.73
1503	RFC ENGINEERING, INC.	BRAASTAD LANDSCAPING	Engineering	890-90001-3135	16.52
1503	RFC ENGINEERING, INC.	SAGEWERKZ LABELS	Engineering	890-90001-3135	25.00
1503	RFC ENGINEERING, INC.	CREEKSIDE FARMS LABELS	Engineering	890-90001-3135	25.00
1503	RFC ENGINEERING, INC.	GALLAGHER SHORES	Engineering	890-90001-3135	573.38
1503	RFC ENGINEERING, INC.	ENCHANTED ESTATES 3RD	Engineering	890-90001-3135	40.35

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1503	RFC ENGINEERING, INC.	EVERGREEN ESTATES	Engineering	890-90001-3135	2,217.94
1503	RFC ENGINEERING, INC.	CREEKSIDE FARMS	Engineering	890-90001-3135	2,410.67
1503	RFC ENGINEERING, INC.	HIDDEN FOREST EAST 3RD	Engineering	890-90001-3135	214.08
1503	RFC ENGINEERING, INC.	CROSSTOWN ROLLING ACRES	Engineering	890-90001-3135	26.90
1503	RFC ENGINEERING, INC.	HOLIDAY STATION STORE	Engineering	890-90001-3135	215.44
1503	RFC ENGINEERING, INC.	CROSSTOWN ROLLING ACRES	Engineering	890-90001-3135	778.29
1503	RFC ENGINEERING, INC.	RYLIE'S WAY	Engineering	890-90001-3135	232.58
1503	RFC ENGINEERING, INC.	RADISSON SUNSET ESTATES	Engineering	890-90001-3135	267.84
1503	RFC ENGINEERING, INC.	ENTSMINGER MINOR PLAT	Engineering	890-90001-3135	671.42
1503	RFC ENGINEERING, INC.	NETTAS PRESERVE	Engineering	890-90001-3135	290.72
1503	RFC ENGINEERING, INC.	CONSTANCE BOULEVARD TER	Engineering	890-90001-3135	416.98
1503	RFC ENGINEERING, INC.	WHITETAIL CROSSING 2ND	Engineering	890-90001-3135	578.06
1503	RFC ENGINEERING, INC.	MEADOW PARK RECONSTRUC	Engineering	431-43301-3135	1,585.81
1503	RFC ENGINEERING, INC.	GROUP PERMIT BILLING	Engineering	100-43501-3135	9,316.69
1503	RFC ENGINEERING, INC.	ABERDEEN, 144TH - 145TH R	Engineering	431-43301-3135	80.70
1503	RFC ENGINEERING, INC.	LUNDS LAKEVIEW FOREST RO	Engineering	431-43301-3135	40.35
1503	RFC ENGINEERING, INC.	TWIN BIRCH ACRES ROW2020	Engineering	431-43301-3135	53.80
1503	RFC ENGINEERING, INC.	SODERVILLE DRIVE ROW2019-	Engineering	431-43301-3135	107.61
1503	RFC ENGINEERING, INC.	CREEK VALLEY RECONSTRUCTI	Engineering	431-43301-3135	1,051.66
1503	RFC ENGINEERING, INC.	MSA GROUP BILLING	Engineering	431-43301-3135	282.47
1503	RFC ENGINEERING, INC.	POLK STREET	Engineering	431-43301-3135	1,797.66
1503	RFC ENGINEERING, INC.	TIPPECANOE STREET	Engineering	431-43301-3135	1,680.14
1506	STAR TRIBUNE MEDIA COMPA	POLK STREET BIDS	Legal notices/publications/bid	431-43301-3950	47.16
1506	STAR TRIBUNE MEDIA COMPA	TIPPECANOE ASSESSMENT	Legal notices/publications/bid	431-43301-3950	47.16
1506	STAR TRIBUNE MEDIA COMPA	CREEKSIDE FARMS PREL PLAT	Legal notices/publications/bid	890-90001-3950	226.63
1506	STAR TRIBUNE MEDIA COMPA	SAGEWERKZ CUP	Legal notices/publications/bid	890-90001-3950	65.50
1507	TERI MCMAHON	HLFD SERVICE AWARD DELIVE	Mileage	100-42201-3960	10.86
1508	WRUCK SEWER & PORTABLE	PINGER'S PARK TOILET RENTA	Rentals-other	100-44101-3390	22.75
1508	WRUCK SEWER & PORTABLE	PATRICIA'S WILDERNESS TOILE	Rentals-other	100-44101-3390	22.75
1508	WRUCK SEWER & PORTABLE	TWIN BIRCH PARK TOILET REN	Rentals-other	100-44101-3390	22.75
1508	WRUCK SEWER & PORTABLE	WISEN'S PARK TOILET RENTAL	Rentals-other	100-44101-3390	22.75
1508	WRUCK SEWER & PORTABLE	HAM LAKE BALL FIELD TOILET	Rentals-other	100-44101-3390	39.50
1508	WRUCK SEWER & PORTABLE	LUND'S PINE CREEK	Rentals-other	100-44101-3390	45.50
1508	WRUCK SEWER & PORTABLE	SANITIZER STAND	Rentals-other	100-44101-3390	15.00
1508	WRUCK SEWER & PORTABLE	LION'S PARK PLAYGROUND TO	Rentals-other	100-44101-3390	79.00
1508	WRUCK SEWER & PORTABLE	SODERVILLE PARK TOILET REN	Rentals-other	100-44101-3390	54.00
1508	WRUCK SEWER & PORTABLE	LARSON'S HERITAGE OAKS TOI	Rentals-other	100-44101-3390	45.50
1508	WRUCK SEWER & PORTABLE	BLUEGRASS ESTATES TOILET R	Rentals-other	100-44101-3390	45.50
1508	WRUCK SEWER & PORTABLE	CONSTANCE ESTATES PARK TO	Rentals-other	100-44101-3390	45.50
1508	WRUCK SEWER & PORTABLE	LION'S PARK TOILET RENTALS	Rentals-other	100-44101-3390	158.00
1508	WRUCK SEWER & PORTABLE	TENNIS COURT TOILET RENTA	Rentals-other	100-44101-3390	108.00
1508	WRUCK SEWER & PORTABLE	HAM LAKE BOAT LANDING TO	Rentals-other	100-44101-3390	79.00
1508	WRUCK SEWER & PORTABLE	TWIN BIRCH PARK TOILET REN	Reimbursable expense	100-48101-4150	22.75
1508	WRUCK SEWER & PORTABLE	PATRICIA'S WILDERNESS TOILE	Reimbursable expense	100-48101-4150	22.75
1508	WRUCK SEWER & PORTABLE	PINGER'S PARK TOILET RENTA	Reimbursable expense	100-48101-4150	22.75
1508	WRUCK SEWER & PORTABLE	HAM LAKE BALL FIELD TOILET	Reimbursable expense	100-48101-4150	39.50
1508	WRUCK SEWER & PORTABLE	SODERVILLE PARK TOILET REN	Reimbursable expense	100-48101-4150	54.00
1508	WRUCK SEWER & PORTABLE	WISEN'S PARK TOILET RENTAL	Reimbursable expense	100-48101-4150	22.75
1508	WRUCK SEWER & PORTABLE	LION'S PARK TOILET RENTALS	Reimbursable expense	100-48101-4150	158.00
1508	WRUCK SEWER & PORTABLE	BLUEGRASS ESTATES TOILET R	Rentals-other	100-44101-3390	45.50
1508	WRUCK SEWER & PORTABLE	CONSTANCE ESTATES PARK TO	Rentals-other	100-44101-3390	45.50
1508	WRUCK SEWER & PORTABLE	PATRICIA'S WILDERNESS TOILE	Rentals-other	100-44101-3390	22.75
1508	WRUCK SEWER & PORTABLE	TWIN BIRCH PARK TOILET REN	Rentals-other	100-44101-3390	22.75
1508	WRUCK SEWER & PORTABLE	WISEN'S PARK TOILET RENTAL	Rentals-other	100-44101-3390	22.75
1508	WRUCK SEWER & PORTABLE	PINGER'S PARK TOILET RENTA	Rentals-other	100-44101-3390	22.75
1508	WRUCK SEWER & PORTABLE	LION'S PARK TOILET RENTALS	Rentals-other	100-44101-3390	158.00
1508	WRUCK SEWER & PORTABLE	SODERVILLE PARK TOILET REN	Rentals-other	100-44101-3390	54.00
1508	WRUCK SEWER & PORTABLE	TENNIS COURT TOILET RENTA	Rentals-other	100-44101-3390	108.00
1508	WRUCK SEWER & PORTABLE	LARSON'S HERITAGE OAKS TOI	Rentals-other	100-44101-3390	45.50
1508	WRUCK SEWER & PORTABLE	LION'S PARK PLAYGROUND TO	Rentals-other	100-44101-3390	79.00

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1508	WRUCK SEWER & PORTABLE	HAM LAKE BOAT LANDING TO	Rentals-other	100-44101-3390	79.00
1508	WRUCK SEWER & PORTABLE	LUND'S PINE CREEK	Rentals-other	100-44101-3390	45.50
1508	WRUCK SEWER & PORTABLE	HAM LAKE BALL FIELD TOILET	Rentals-other	100-44101-3390	39.50
1508	WRUCK SEWER & PORTABLE	HAM LAKE BALL FIELD TOILET	Reimbursable expense	100-48101-4150	39.50
1508	WRUCK SEWER & PORTABLE	PINGER'S PARK TOILET RENTA	Reimbursable expense	100-48101-4150	22.75
1508	WRUCK SEWER & PORTABLE	PATRICIA'S WILDERNESS TOILE	Reimbursable expense	100-48101-4150	22.75
1508	WRUCK SEWER & PORTABLE	TWIN BIRCH PARK TOILET REN	Reimbursable expense	100-48101-4150	22.75
1508	WRUCK SEWER & PORTABLE	WISEN'S PARK TOILET RENTAL	Reimbursable expense	100-48101-4150	22.75
1508	WRUCK SEWER & PORTABLE	LION'S PARK TOILET RENTALS	Reimbursable expense	100-48101-4150	158.00
1508	WRUCK SEWER & PORTABLE	SODERVILLE PARK TOILET REN	Reimbursable expense	100-48101-4150	54.00
63194	4 IMPRINT	T-SHIRTS	Fire prevention-supplies	100-42201-2810	371.16
63195	ACE SOLID WASTE INC	JULY YARDWASTE	Waste management & recycli	231-43601-3630	2,882.30
63196	ACE SOLID WASTE INC	AUGUST ORGANICS	Waste management & recycli	231-43601-3630	295.69
63197	ADVANTAGE SIGNS & GRAPHI	POST BRACKETS	Street signs	100-43401-2250	276.06
63198	ALLIED BLACKTOP CO.	CRACK SEALING	Blacktop maintenance	100-43101-3410	22,651.15
63199	ANOKA COUNTY PROPERTY	GAABO DRIVEWAY LICENSSE	Refunds & reimbursements	100-37601	46.00
63200	ASPEN MILLS INC	PANTS - SR	Clothing & personal protectiv	100-42201-2210	49.95
63200	ASPEN MILLS INC	UNIFORM - LD	Clothing & personal protectiv	100-42201-2210	184.08
63201	BLAINE LOCK & SAFE, INC.	INSTALL NEW LOCK	Building repair & maintenanc	100-44102-3420	988.00
63202	CARSON, CLELLAND, & SCHRE	CITY COUNCIL MEETINGS	Attorney	100-41101-3110	180.00
63202	CARSON, CLELLAND, & SCHRE	FIRE DEPARTMENT-DRUG TES	Attorney	100-41101-3110	87.50
63202	CARSON, CLELLAND, & SCHRE	TOWER LEASES	Attorney	100-41101-3110	52.50
63202	CARSON, CLELLAND, & SCHRE	ELECTIONS JPA	Attorney	100-41101-3110	35.00
63202	CARSON, CLELLAND, & SCHRE	CAPITAL FLEET ORDINANCE	Attorney	100-41102-3110	87.50
63202	CARSON, CLELLAND, & SCHRE	PEDDLER'S LICENSE ORDINAN	Attorney	100-41102-3110	52.50
63202	CARSON, CLELLAND, & SCHRE	SIGN ORDINANCE	Attorney	100-41102-3110	105.00
63202	CARSON, CLELLAND, & SCHRE	PROSECUTIONS	Attorney	100-41501-3110	6,500.00
63202	CARSON, CLELLAND, & SCHRE	ENCHANTED ESTATES	Attorney	890-90001-3110	52.50
63202	CARSON, CLELLAND, & SCHRE	CONSTANCE BLVD TERRACE	Attorney	890-90001-3110	210.00
63203	CITY OF ROSEVILLE	2021 DW LASERFICHE & ADO	Software licenses & upgrades	100-41201-2510	19.33
63203	CITY OF ROSEVILLE	2021 DS, SHARED LASERFICHE	Software licenses & upgrades	100-41301-2510	477.58
63203	CITY OF ROSEVILLE	2021 AW, SK LASERFICHE & A	Software licenses & upgrades	100-41401-2510	24.92
63203	CITY OF ROSEVILLE	2021 JB LASERFICHE & ADOBE	Software licenses & upgrades	100-41601-2510	19.33
63203	CITY OF ROSEVILLE	PHONES	Phones/radios/pagers	100-41701-3210	115.83
63203	CITY OF ROSEVILLE	IT SERVICE	Computer & software support	100-41707-3120	3,499.60
63203	CITY OF ROSEVILLE	2021 TM LASERFICHE & ADOB	Software licenses & upgrades	100-42201-2510	24.92
63203	CITY OF ROSEVILLE	PHONES	Phones/radios/pagers	100-42201-3210	64.25
63203	CITY OF ROSEVILLE	2021 NW, TD LASERFICHE & A	Software licenses & upgrades	100-42401-2510	44.25
63203	CITY OF ROSEVILLE	PHONES	Phones/radios/pagers	100-42401-3210	102.83
63203	CITY OF ROSEVILLE	2021 JW ADOBE LICENSE	Software licenses & upgrades	100-43101-2510	5.58
63203	CITY OF ROSEVILLE	PHONES	Phones/radios/pagers	100-43101-3210	64.25
63203	CITY OF ROSEVILLE	PHONES	Phones/radios/pagers	100-44101-3210	12.83
63203	CITY OF ROSEVILLE	PHONES	Phones/radios/pagers	100-44201-3210	51.42
63204	COMMERCIAL ASPHALT CO.	4.07 TN HOTMIX	Blacktop maintenance	100-43101-3410	255.80
63205	CONNEXUS ENERGY	GARAGE	Electricity	100-41702-3610	31.46
63205	CONNEXUS ENERGY	CITY HALL	Electricity	100-41702-3610	1,174.01
63205	CONNEXUS ENERGY	SOUTH WELCOME	Electricity	100-41703-3610	14.43
63205	CONNEXUS ENERGY	CITY SIGN	Electricity	100-41703-3610	115.79
63205	CONNEXUS ENERGY	FIRE #2	Electricity	100-42202-3610	389.68
63205	CONNEXUS ENERGY	FIRE #1	Electricity	100-42202-3610	478.37
63205	CONNEXUS ENERGY	SIRENS	Electricity	100-42302-3610	65.00
63205	CONNEXUS ENERGY	PW	Electricity	100-43104-3610	972.03
63205	CONNEXUS ENERGY	HWY 65/BUNKER SIGNALS	Electricity	100-43401-3610	86.53
63205	CONNEXUS ENERGY	RADISSON/BUNKER SIGNALS	Electricity	100-43401-3610	80.41
63205	CONNEXUS ENERGY	CROSSTOWN/HWY 65 SIGNAL	Electricity	100-43401-3610	78.95
63205	CONNEXUS ENERGY	BUNKER/LEXINGTON SIGNALS	Electricity	100-43401-3610	69.76
63205	CONNEXUS ENERGY	HWY 65/CONSTANCE SIGNALS	Electricity	100-43401-3610	123.54
63205	CONNEXUS ENERGY	BUNKER/JEFFERSON SIGNALS	Electricity	100-43401-3610	62.06
63205	CONNEXUS ENERGY	LEXINGTON/CROSSTOWN SIG	Electricity	100-43401-3610	46.09
63205	CONNEXUS ENERGY	STREET LIGHTS #1	Electricity	100-43401-3610	25.38

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
63205	CONNEXUS ENERGY	HWY 65/ANDOVER BLVD SIGN	Electricity	100-43401-3610	78.81
63205	CONNEXUS ENERGY	STREET LIGHTS #2	Electricity	100-43401-3610	280.47
63205	CONNEXUS ENERGY	HAM LAKE PARK	Electricity	100-44101-3610	114.54
63205	CONNEXUS ENERGY	SODERVILLE PARK	Electricity	100-44101-3610	37.83
63205	CONNEXUS ENERGY	SODERVILLE PARK WELL	Electricity	100-44101-3610	18.56
63205	CONNEXUS ENERGY	LION'S PARK PAVILION	Electricity	100-44102-3610	189.11
63205	CONNEXUS ENERGY	HAM LAKE PARK CONCESSION	Electricity	100-44102-3610	147.99
63205	CONNEXUS ENERGY	LION'S PARK CONCESSION	Electricity	100-44102-3610	106.35
63205	CONNEXUS ENERGY	HAM LAKE PARK BUILDING	Electricity	100-44102-3610	88.12
63205	CONNEXUS ENERGY	HAM LAKE PARK SHELTER	Electricity	100-44102-3610	30.26
63205	CONNEXUS ENERGY	SR CENTER	Electricity	100-44202-3610	632.16
63205	CONNEXUS ENERGY	STREET LIGHTS	Electricity	232-43701-3610	4,447.34
63207	COTTENS' ANOKA INC	GAUGE	Operating supplies	100-43101-2290	8.88
63208	DEHN OIL CO	323.1 GAL GASOLINE	Fuel	100-43101-2230	915.99
63208	DEHN OIL CO	500 GAL DIESEL	Fuel	100-43101-2230	1,305.00
63209	DO ALL PRINTING	AUGUST HAM LAKER DELIVER	Other services and charges	211-41704-3990	130.00
63210	DTM FLEET SERVICE	C1 LIGHTS & SIRENS	Capital assets	420-42201-5110	5,031.76
63211	E.H. RENNER & SONS INC	SQE INSTALLATION HAM LAKE	Building repair & maintenanc	100-44102-3420	4,444.01
63212	GRATITUDE FARMS	JULY ANIMAL CONTROL	Other professional services	100-42501-3190	250.00
63213	HAM LAKE HARDWARE INC	INSECT SPRAY	Operating supplies	100-43101-2290	15.98
63213	HAM LAKE HARDWARE INC	SCISSORS, UTILITY KNIVES	Operating supplies	100-44101-2290	24.97
63213	HAM LAKE HARDWARE INC	LIONS PARK DRINKING FOUNT	Operating supplies	100-44101-2290	6.98
63213	HAM LAKE HARDWARE INC	HAM LAKE PARK ELBOW	Operating supplies	100-44101-2290	6.49
63213	HAM LAKE HARDWARE INC	HAM LAKE PARK ELBOW	Operating supplies	100-44101-2290	6.49
63213	HAM LAKE HARDWARE INC	HAM LAKE PARK FUSE CARTRI	Operating supplies	100-44101-2290	29.30
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Prepaid expense	100-15501	24,966.00
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-41101-3940	11.82
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-41201-3940	64.45
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-41301-3940	60.02
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-41401-3940	117.89
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-41601-3940	56.12
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-41701-3940	6,592.24
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-41703-3940	304.38
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-42101-3940	148.72
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-42201-3940	3,487.92
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-42302-3940	89.45
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-42401-3940	292.32
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-43101-3940	4,531.99
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-44101-3940	8,807.77
63214	LEAGUE OF MN CITIES INS. TR	PROPERTY/CASUALTY INS	Insurance	100-44201-3940	400.91
63215	LINCOLN NATIONAL LIFE INSU	SEPT LT DISABILITY	Other payroll deductions	100-21706	408.43
63215	LINCOLN NATIONAL LIFE INSU	JULY & AUG ST DISABILITY - TK	Other payroll deductions	100-21706	72.72
63215	LINCOLN NATIONAL LIFE INSU	JULY & AUG LT DISABILITY - TK	Other payroll deductions	100-21706	40.68
63215	LINCOLN NATIONAL LIFE INSU	SEPT ST DISABILITY	Other payroll deductions	100-21706	755.15
63216	MENARDS-BLAINE	LIONS PARK DRINKING FOUNT	Operating supplies	100-44101-2290	17.28
63217	MINNESOTA EQUIPMENT	PLUG	Operating supplies	100-44101-2290	6.24
63218	MN METRO NORTH TOURISM	JUNE LODGING TAX	Convention bureau	263-46101-4120	2,956.82
63219	MN PEIP	SEPT HEALTH INSURANCE	Flexible spending	100-21705	13,309.12
63220	MN/WI PLAYGROUND INC	RUBBER MULCH - CITY HALL	Capital assets	412-41702-5110	12,175.00
63221	NORTHERN ASPHALT INC	TENNIS COURT ASPHALT WOR	Capital assets	440-44103-5110	60,900.00
63222	PLAISTED COMPANIES, INC.	23.6 TN BALLFIELD LIME	Operating supplies	100-44101-2290	990.61
63223	PREMIUM WATERS INC	JULY WATER	Equipment rentals	100-41701-3320	34.80
63223	PREMIUM WATERS INC	AUGUST WATER COOLER REN	Equipment rentals	100-41701-3320	14.00
63223	PREMIUM WATERS INC	JULY WATER BOTTLE DEPOSIT	Equipment rentals	100-41701-3320	12.00
63224	SITEONE LANDSCAPE SUPPLY	HAM LAKE PARK PARTS	Operating supplies	100-44101-2290	177.77
63224	SITEONE LANDSCAPE SUPPLY	HAM LAKE PARK PARTS	Operating supplies	100-44101-2290	73.16
63224	SITEONE LANDSCAPE SUPPLY	HAM LAKE PARK PARTS	Operating supplies	100-44101-2290	6.65
63224	SITEONE LANDSCAPE SUPPLY	HAM LAKE PARK PARTS	Operating supplies	100-44101-2290	4.24
63225	SPEEDPRO SAINT PAUL	HELMET LOGOS, NUMBERS, C	Clothing & personal protectiv	100-42201-2210	204.00
63226	SUMMIT COMPANIES	RESIDENT FIRE EXT SERVICE	Fire Extinguisher	100-20203	34.50

Council Approval List

Payment Dates: 8/5/2021 - 8/18/2021

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
63226	SUMMIT COMPANIES	RESIDENT EXTINGUISHER SER	Fire Extinguisher	100-20203	89.50
63227	TDS METROCOM INC	763-434-0454 ELEVATOR	Phones/radios/pagers	100-41701-3210	39.78
63227	TDS METROCOM INC	763-434-9605 FIRE #2	Phones/radios/pagers	100-42201-3210	37.78
63228	TIGER CORPORATION	#61 BELTS, HOSE	Equipment parts & supplies	100-43101-2320	653.18
63229	TURFWERKS	BLADE WASHER & BOLT	Equipment parts & supplies	100-44101-2320	19.97
63230	US POSTAL SERVICE	PI 289 MARKETING MAIL PER	Postage	211-41704-2120	245.00
63231	VERIZON WIRELESS	612-916-1358 SR CTR	Phones/radios/pagers	100-44201-3210	8.90
63232	WELLS FARGO BANK N.A.	2010 CIP BOND AGENT FEES	Agent fees	370-47101-6130	325.00
63233	WRIGHT-HENNEPIN COOPERA	SEPT SECURITY MONITORING	Monitoring	100-41702-3145	32.95
63233	WRIGHT-HENNEPIN COOPERA	SEPT ELEVATOR MONITORING	Monitoring	100-41702-3145	10.00
63233	WRIGHT-HENNEPIN COOPERA	SEPT PW FIRE PANEL MONITO	Monitoring	100-43104-3145	52.95
DFT0002249	MN STATE DEPT OF REVENUE-	2021/2022 SPECIAL FUEL LICE	Fuel	100-43101-2230	25.00
DFT0002250	MN STATE DEPT OF REVENUE-	JULY FUEL TAX	Fuel	100-43101-2230	52.73
DFT0002251	EMPOWER	Deferred Compensation	Deferred compensation	100-21704	1,475.00
DFT0002251	EMPOWER	Roth IRA	Deferred compensation	100-21704	100.00
DFT0002252	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	4,996.67
DFT0002252	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,571.46
DFT0002252	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	6,275.52
DFT0002253	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,322.11
DFT0002254	PERA	Retirement-Coordinated	PERA	100-21703	6,481.83
DFT0002254	PERA	Retirement-Police & Fire	PERA	100-21703	1,055.33
Grand Total:					279,513.43

Report Summary

Fund Summary

Fund	Payment Amount
100 - GENERAL	155,918.78
211 - HAM LAKER	375.00
230 - FUTURE DRAINAGE	53.80
231 - RECYCLING	3,177.99
232 - STREET LIGHT	4,447.34
263 - LODGING TAX	2,956.82
370 - 2010 CIP BOND DEBT	325.00
412 - BUILDING	12,175.00
420 - FIRE EQUIPMENT	5,031.76
431 - REVOLVING STREET	24,449.41
440 - PARK & BEACH LAND	60,900.00
890 - TRUST FUND	9,702.53
Grand Total:	279,513.43

Account Summary

Account Number	Account Name	Payment Amount
100-15501	Prepaid expense	24,966.00
100-20203	Fire Extinguisher	124.00
100-21701	Federal WH/FICA/MC	12,843.65
100-21702	State W/H	2,322.11
100-21703	PERA	7,537.16
100-21704	Deferred compensation	1,575.00
100-21705	Flexible spending	13,488.29
100-21706	Other payroll deductions	1,276.98
100-37601	Refunds & reimburseme	46.00
100-41101-3110	Attorney	355.00
100-41101-3135	Engineering	1,471.14
100-41101-3136	Engineering-comprehen	315.84
100-41101-3940	Insurance	11.82
100-41102-3110	Attorney	245.00
100-41201-2510	Software licenses & upgr	19.33
100-41201-3940	Insurance	64.45
100-41301-2510	Software licenses & upgr	477.58
100-41301-3940	Insurance	60.02
100-41401-2510	Software licenses & upgr	24.92
100-41401-3940	Insurance	117.89
100-41501-3110	Attorney	6,500.00
100-41601-2510	Software licenses & upgr	19.33
100-41601-3135	Engineering	708.36
100-41601-3940	Insurance	56.12
100-41701-3210	Phones/radios/pagers	155.61
100-41701-3320	Equipment rentals	60.80
100-41701-3940	Insurance	6,592.24
100-41702-3145	Monitoring	42.95
100-41702-3610	Electricity	1,205.47
100-41703-3610	Electricity	130.22
100-41703-3940	Insurance	304.38
100-41707-3120	Computer & software su	3,499.60
100-42101-3940	Insurance	148.72
100-42201-2210	Clothing & personal prot	438.03
100-42201-2320	Equipment parts & suppl	54.95
100-42201-2510	Software licenses & upgr	24.92
100-42201-2810	Fire prevention-supplies	371.16
100-42201-3210	Phones/radios/pagers	102.03
100-42201-3940	Insurance	3,487.92
100-42201-3960	Mileage	10.86
100-42202-2310	Building repair & mainte	116.35

Account Summary

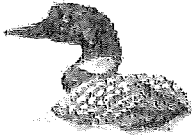
Account Number	Account Name	Payment Amount
100-42202-3610	Electricity	868.05
100-42302-3610	Electricity	65.00
100-42302-3940	Insurance	89.45
100-42401-2510	Software licenses & upgr	44.25
100-42401-3135	Engineering	303.69
100-42401-3210	Phones/radios/pagers	102.83
100-42401-3940	Insurance	292.32
100-42501-3190	Other professional servi	250.00
100-43101-2210	Clothing & personal prot	212.96
100-43101-2230	Fuel	2,298.72
100-43101-2240	Safety supplies	24.00
100-43101-2290	Operating supplies	47.43
100-43101-2320	Equipment parts & suppl	666.60
100-43101-2510	Software licenses & upgr	5.58
100-43101-3135	Engineering	147.99
100-43101-3210	Phones/radios/pagers	64.25
100-43101-3410	Blacktop maintenance	22,906.95
100-43101-3940	Insurance	4,531.99
100-43103-3135	Engineering	135.49
100-43104-3145	Monitoring	52.95
100-43104-3610	Electricity	972.03
100-43201-3135	Engineering	209.39
100-43401-2250	Street signs	276.06
100-43401-3610	Electricity	932.00
100-43501-3135	Engineering	9,316.69
100-44101-2290	Operating supplies	1,350.18
100-44101-2320	Equipment parts & suppl	19.97
100-44101-3210	Phones/radios/pagers	12.83
100-44101-3390	Rentals-other	1,596.00
100-44101-3610	Electricity	170.93
100-44101-3940	Insurance	8,807.77
100-44102-3420	Building repair & mainte	5,432.01
100-44102-3610	Electricity	561.83
100-44201-3210	Phones/radios/pagers	60.32
100-44201-3940	Insurance	400.91
100-44202-3610	Electricity	632.16
100-48101-4150	Reimbursable expense	685.00
211-41704-2120	Postage	245.00
211-41704-3990	Other services and charg	130.00
230-43201-3135	Engineering	53.80
231-43601-3630	Waste management & r	3,177.99
232-43701-3610	Electricity	4,447.34
263-46101-4120	Convention bureau	2,956.82
370-47101-6130	Agent fees	325.00
412-41702-5110	Capital assets	12,175.00
420-42201-5110	Capital assets	5,031.76
431-43301-3135	Engineering	24,355.09
431-43301-3950	Legal notices/publicatio	94.32
440-44103-5110	Capital assets	60,900.00
890-90001-3110	Attorney	262.50
890-90001-3135	Engineering	9,147.90
890-90001-3950	Legal notices/publicatio	292.13
	Grand Total:	279,513.43

Project Account Summary

Project Account Key	Payment Amount
None	245,045.65
200511-100	255.57

Project Account Summary

Project Account Key	Payment Amount
200912-100	4,786.27
201302.089-100	289.59
201709-100	382.28
201805-100	4,265.19
201902.93-100	1,797.66
201902.93-120	47.16
201907-100	5,360.87
202002.057-100	26.90
202002.083-100	978.90
202102.053-100	1,680.14
202102.053-120	47.16
202103-100	1,585.81
202105-100	1,051.66
Comp Plan-100	315.84
MISC-100	1,894.25
Trust-110	378.69
Trust-200	90.50
Trust-210	9,233.34
Grand Total:	<u>279,513.43</u>



City of Ham Lake, MN

EFT Payroll Check Register

Report Summary

Pay Period: 7/25/2021-8/7/2021

Packet: PYPKT01187 - PPE 8/7/21 PAID 8/13/21

Payroll Set: City of Ham Lake - 01

<u>Type</u>	<u>Count</u>	<u>Amount</u>
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	36	37,223.81
Total	36	37,223.81

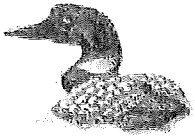
11:07 AM

08/11/21

Accrual Basis

CITY OF HAM LAKE-TRUST
MONTHLY CHECK REGISTER
July 30 through August 11, 2021

Type	Date	Num	Name Contact	Memo	Amount
Jul 30 - Aug 11, 21					
Check	08/05/2021	5717	DAVID GOODOEN	TURF ESCROW 4719 - 141ST LANE	-2,500.00
Check	08/05/2021	5718	J & J REMODELERS INC	TURF ESCROW 17478 SWEDISH DRIVE	-2,500.00
Check	08/05/2021	5719	BOULDER CONTRACTING	DRIVEWAY ESCROW 15259 JEFFERSON	-2,600.00
Check	08/11/2021	5720	AARON MIQUELI	08/07/21 HAM LAKE PARK DEPOSIT	-150.00
Check	08/11/2021	5721	SHAWN BRICKER	08/07/21 LIONS PARK DEPOSIT	-150.00
Check	08/11/2021	5722	PAULEMMERICH CONSTRUCTION	DRIVEWAY ESCROW 15317 ALAMO	-2,600.00
Check	08/11/2021	5723	NORTHERN LIGHTS HOME SCHOOL	05/15/21 LIONS PARK DEPOSIT	-150.00
Jul 30 - Aug 11, 21					-10,650.00



City of Ham Lake, MN

Payment Register

APPKT01424 - VOID CK#63189

01 - Vendor Set 01

Bank: APBNK - A/P BANK

Vendor Number	Vendor Name					Total Vendor Amount
<u>POSTAGE</u>	US POSTAL SERVICE					0.00
Payment Type	Payment Number			Payment Date	Payment Amount	
Check	<u>63189</u>			08/04/2021	-240.00	
Payable Number	Description	Payable Date	Due Date	Discount Amount	Payable Amount	
				0.00	0.00	

Payment Summary

Bank Code	Type	Payable Count	Payment Count	Discount	Payment
APBNK	Voided Check	0	1	0.00	-240.00
Packet Totals:		0	1	0.00	0.00

Cash Fund Summary

Fund	Name	Amount
999	POOLED CASH	240.00
Packet Totals:		240.00

Meeting Date: August 16, 2021



***CITY OF HAM LAKE
STAFF REPORT***

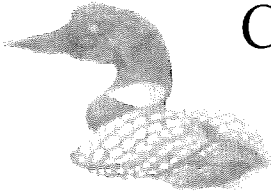
To: Mayor and Councilmembers

From: Dawnette Shimek, Deputy City

Item/Title/Subject: Temporary One-Day Liquor License

Introduction/Discussion: Attached is an application from the Dylan Witschen Foundation requesting a Temporary One-Day Liquor License at The Willow Tree Winery, 828 Constance Boulevard NE, Ham Lake for October 23, 2021.

Recommendation: I recommend approval of the Temporary One-Day Liquor License for the Dylan Witschen Foundation for October 23, 2021.



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

Receipt # 90393 \$25.00 Fee

APPLICATION FOR TEMPORARY ONE-DAY ON-SALE/OFF-SALE 3.2 PERCENT MALT LIQUOR

TO: Ham Lake City Council
Of the City of Ham Lake
County of Anoka, State of Minnesota

Debbie Witschen, whose name and address is subscribed hereto, hereby make application for an On sale/Off sale license to sell 3.2 percent malt liquor on those certain premises in the City of Ham Lake, County of Anoka, State of Minnesota known and described as follows: The Willow Tree Winery, 828 Constance Blvd. NE, Ham Lake MN, in connection with the Dylan Witschen Foundation (non-profit) business there now and therefore conducted by said applicants since March 4, 2011.

Applicant states and represents:

(a – if an individual or partnership) That they are a citizen of the United States of America, who is of good moral character and repute and has attained the age of twenty one years and who is proprietor of the establishment for which this license is applied.

(b – if a corporation) That it is a corporation organized under the laws of Minnesota. That said corporation is an affiliate or subsidiary of the _____ . That the application is made on behalf of said corporation by the undersigned (officer of manager)

(c) – if a club or charitable, religious or other non-profit corporation that has existed for at least three years) That it is a bona fid club and is an organization for social or business purposes – or for intellectual improvement – or for the promotion of sports – where the serving of such 3.2 percent malt liquor is incidental and not the major purpose of the club.

Date of event: Saturday, October 23, 2021

The applicant represents that no manufacturer or wholesaler of 3.2 percent malt liquor has any ownership, in whole or in part, in the business of applicant.

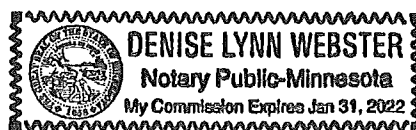
Applicant herein agrees to abide and be governed by all rules and regulations of the municipality and all laws of the state pertaining to the sale of 3.2 percent malt liquor.

Debbie Witschen (Name)
17065 Waco Street NE (Address)
Andover, MN 55304

STATE OF MINNESOTA
COUNTY OF ANOKA

Debbie Witschen being duly sworn on oath says that he/she is the person who made and signed the foregoing application, that he/she has read said application and knows the contents thereof, and that the same is true of his/her own knowledge.

Subscribed and sworn to before me this
1st day of August, 2021.
Denise Lynn Webster
(Notary Public)



Meeting Date: August 16, 2021



***CITY OF HAM LAKE
STAFF REPORT***

To: Mayor and Councilmembers

From: Dawnette Shimek, Deputy City

Item/Title/Subject: Temporary One-Day Liquor License

Introduction/Discussion: Attached is an application from the Ham Lake Lion's requesting a Temporary One-Day Liquor License at Fitaholic Fitness, 13352 Aberdeen Street NE, Ham Lake for September 11, 2021.

Recommendation: I recommend approval of the Temporary One-Day Liquor License for the Ham Lake Lion's for September 11, 2021.

**APPLICATION FOR ON-SALE/OFF-SALE
3.2 PERCENT MALT LIQUOR**

TO: Ham Lake City Council
Of the City of Ham Lake
County of Anoka, State of Minnesota

William Vokovan, whose name and address is subscribed hereto, hereby make application for an On sale/Off sale license to sell 3.2 percent malt liquor on those certain premises in the City of Ham Lake, County of Anoka, State of Minnesota known and described as follows: Fitaholics Fitness, 13352 Aberdeen Street NE, Ham Lake, MN, in connection with the Ham Lake Lions (business) there now and therefore conducted by said applicants since 1985.

Applicant states and represents:

(a – if an individual or partnership) That they are a citizen of the United States of America, who is of good moral character and repute and has attained the age of twenty one years and who is proprietor of the establishment for which this license is applied.

(b – if a corporation) That it is a corporation organized under the laws of Minnesota. That said corporation is an affiliate or subsidiary of the _____ . That the application is made on behalf of said corporation by the undersigned (officer of manager) _____ .

(c – if a club or charitable, religious or other non-profit corporation that has existed for at least three years) That it is a bona fid club and is an organization for social or business purposes – or for intellectual improvement – or for the promotion of sports – where the serving of such 3.2 percent malt liquor is incidental and not the major purpose of the club.

Date of event: Saturday, September 11, 2021 from 5:00 p.m. to 11:00 p.m.

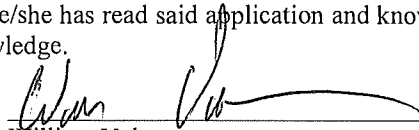
The applicant represents that no manufacturer or wholesaler of 3.2 percent malt liquor has any ownership, in whole or in part, in the business of applicant.

Applicant herein agrees to abide and be governed by all rules and regulations of the municipality and all laws of the state pertaining to the sale of 3.2 percent malt liquor.

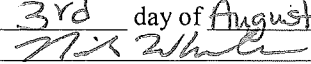
Name: William Vokovan
Address: 14951 Leyte Street NE
Ham Lake, MN 55304

STATE OF MINNESOTA
COUNTY OF ANOKA

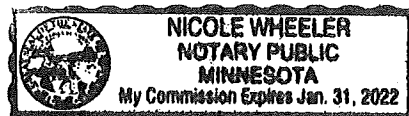
William Vokovan being duly sworn on oath says that he/she is the person who made and signed the foregoing application, that he/she has read said application and knows the contents thereof, and that the same is true of his/her own knowledge.

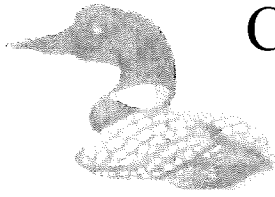


William Vokovan

Subscribed and sworn to before me this
3rd day of August, 2021.


(Notary Public)





CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

PROCLAMATION

WHEREAS: September 17, 2021, marks the two hundred and thirty-fourth anniversary of the drafting of the Constitution of the United States of America by the Constitutional Convention; and

WHEREAS: It is fitting and proper to accord official recognition to this magnificent document and its memorable anniversary; and to the patriotic celebrations which will commemorate the occasion; and

WHEREAS: Public Law 915 guarantees the issuing of a proclamation each year by the President of the United States of America designating September 17 through 23 as Constitution Week,

NOW, THEREFORE I, Michael G. Van Kirk by virtue of the authority vested in me as the Mayor of Ham Lake, do hereby proclaim the week of September 17 through 23 as

CONSTITUTION WEEK

AND ask our citizens to reaffirm the ideals of the Framers of the constitution had in 1787 by vigilantly protecting the freedoms guaranteed to us through this guardian of our liberties, remembering that lost rights may never be regained.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City to be affixed this 16th day of August of the year of our Lord two thousand twenty-one.

Gary Kirkeide, Acting Mayor

**City of Ham Lake
Road Committee Notes
August 2, 2021**

The Road Committee met on Monday, August 2, 2021 at 5:30 p.m. Present were Councilmember Gary Kirkeide; Councilmember Jim Doyle; City Engineer Tom Collins; Administrator Denise Webster; Finance Director Andrea Worcester; Public Works Superintendent John Witkowski; and Deputy City Clerk Dawnette Shimek.

1. Discussion of Revolving Street Fund, fund balance projections, American Rescue Plan Act funds and potential bonding.

Engineer Collins stated that 181st Avenue NE road reconstruction project shared with the City of East Bethel is delayed until next year. Discussion followed regarding bonding for future projects and possibly limiting how many rural roads are upgraded that are being heavily subsidized by the city. Finance Director Worcester stated that she inquired about bonding rates and was quoted 2% for 20 years. Discussion followed regarding possibly bonding for Fire Station 3 and also for street improvements.

The American Rescue Plan allows payment for storm water related projects and possibly the new Fire Station 3 well. Discussion followed regarding Fire Station 3 being used for quick response and be equipped with rescue vehicles, a tanker and a pump truck. Finance Director Worcester stated that there is 1.2 million dollars ear-marked for capital improvements.

Councilmember Doyle stated that the biggest hurdles are street improvements and the City may have to bond for roads in the future. Councilmember Kirkeide stated the city may want to pay old debt down and watch for changes in the economy.

Engineer Collins stated that Twin Birch Acres, Lund's Lakeview Forest, Creek Valley, Meadow Park North, Polk Street NE and Tippecanoe Street NE street improvement projects drainage improvements can be paid with funds from the American Rescue Plan Act.

2. Discussion of Municipal State Aid Account and proposed advancement from future allocations.

Engineer Collins stated that a request for advancement of MSA funds should be placed on the City Council's next agenda. **It was the consensus of the Road Committee to recommend to the City Council that the request for advancement of MSA funds be approved.**

3. Discussion of the Business Park frontage road, MnDOT Local Partnership Program comments, schedule and Housing & Redevelopment Authority funds.

Engineer Collins stated that the project has received all positive comments from the state that project should be successful in receiving funding from the state. Engineer Collins added that the state selection committee should be notifying applicants by the end of August, and that cities of successful projects will need to accept the funding within one month of notification. Engineer Collins stated that Anoka County Housing and Redevelopment Authority (HRA) funding request should be submitted soon.

2)

4. Discussion of Jefferson Street reduced speed limit signage per the request of the DaVinci Academy. Engineer Collins stated that he was contacted by DaVinci Academy Director of Operations Holly Fisher requesting that the city share in the costs of the design, installation, ongoing maintenance and ongoing electric costs associated with flashing School Zone reduced speed limit signage. Engineer Collins stated that the cost of the flashing signage design and installation is estimated by the County to be between \$35,000 and \$40,000. Engineer Collins stated that the city public works department is currently making static signage, which will be installed next week. Engineer Collins stated that the County will be erecting school speed zone ahead signage on Bunker Lake Boulevard NE. **It was the consensus of the Road Committee to recommend to the City Council that any costs associated with flashing signage be paid by Da Vinci Academy, which will require an agreement between the City and DaVinci Academy and a Joint Powers Agreement (JPA) between the City and County.**

Memorandum

Date: August 12, 2021
To: Mayor and Councilmembers
From: Tom Collins, City Engineer *TPC*
Subject: Municipal State Aid funds

Introduction:

The MSA fund balance was discussed at the August 2nd Road Committee meeting.

Discussion:

A negative MSA funds balance, per the attached, is projected for the end of 2021 due to the following projects:

- Final state aid payment request for the upgrade of 155th Avenue from Naples Street to Lexington Avenue
- Final state aid payment request for the construction of Aberdeen Street from 144th Avenue to 145th Avenue

The 155th Avenue project was accepted at the March 1st City Council meeting, which commenced the one-year warranty period. The \$86,487.36 final state aid payment request, which includes the 5% contractor retainage from the initial state aid payment request (\$61,736.93), additional contact work above the contract amount (\$17,594.80), eligible surveying and engineering fees (\$4,398.70) and easement acquisition fees (\$2,756.93).

The Aberdeen Street project will be on an upcoming City Council agenda for consideration of project acceptance and commencement of the one-year warranty period, once the two minor punch list items are completed. The estimated \$404,159.92 final state aid payment request, which includes the \$10,000 Coon Creek Watershed Water Quality grant, 5% contractor retainage from the initial state aid payment request (\$15,823.70), Change Order #1 approved at the October 5, 2020 Council meeting (\$168,733.05), additional contact work above the contract amount (\$97,018.39), eligible surveying and engineering fees (\$123,237.86) and land acquisition fees (\$9,346.92). The draft recommendation for project acceptance memo is attached, which summarizes the contractor overages for earthwork, driveway aggregate base, bituminous driveways, aggregate base and street bituminous.

The 181st Avenue reconstruction and overlay project is scheduled for 2022. An advancement from the 2023 allotment will be requested in 2022. There are no MSA projects scheduled for 2023. Per the attached MSA funds exhibit, the anticipated MSA funds balance at the start of 2024 is a negative \$67,803.05. The MSA funds exhibit includes the prior advancements in 2019 and 2020.

Recommendation:

Adopt the attached Resolution requesting an advancement of up to \$490,647.28 in future municipal state aid funds.

Resolution No. 21-XX
Municipal State Aid Street Funds Advance

WHEREAS, the City of Ham Lake is planning to implement Municipal State Aid Street Project(s) in 2021 which will require State Aid funds in excess of those available in its State Aid Construction Account, and

WHEREAS, said City is prepared to proceed with the construction of said project(s) through the use of an advance from the Municipal State Aid Street Fund to supplement the available funds in their State Aid Construction Account, and

WHEREAS, the advance is based on the following determination of estimated expenditures:

Account Balance as of date <u>8/12/2021</u>	<u>(\$653,670.18)</u>
Less estimated disbursements:	
Project #197-108-002	<u>\$86,487.36</u>
Project #197-124-004	<u>\$404,159.92</u>
Total Estimated Disbursements	<u>\$490,647.28</u>
Advance Amount (amount in excess of acct balance)	<u>\$490,647.28</u>

WHEREAS, repayment of the funds so advanced will be made in accordance with the provisions of Minnesota Statutes 162.14, Subd. 6 and Minnesota Rules, Chapter 8820.1500, Subp. 10b, and

WHEREAS, the City acknowledges advance funds are released on a first-come-first-serve basis and this resolution does not guarantee the availability of funds.

NOW, THEREFORE, Be It Resolved: That the Commissioner of Transportation be and is hereby requested to approve this advance for financing approved Municipal State Aid Street Project(s) of the City of Ham Lake in an amount up to \$490,647.28. I hereby authorize repayments from subsequent accruals to the Municipal State Aid Street Construction Account of said City from future year allocations until fully repaid.

I HEREBY CERTIFY that the above is a true and correct copy of a resolution presented to and adopted by the City of Ham Lake, County of Anoka, State of Minnesota, at a duly authorized City Council Meeting held in the City of Ham Lake, Minnesota on the 16th day of August, 2021, as disclosed by the records of said City on file and of record in the office.

Gary Kirkeide, Acting Mayor

Denise Webster, City Clerk

Minnesota Department of Transportation - Office of Finance

Status Report

Municipality: 197-HAM LAKE

as of 08/11/2021

Municipality: 197-HAM LAKE

Account: 90 - MUNI CONST												
Beg Yr Bal	Allocation	Total	Deposits	Transfers	Disb	Unexp Bal	Enc	B/L Rsvr	Bal Avail	Outstanding Overpymts	State Aid Avail to Adv	As
(1,371,437.67)	749,888.00	(621,549.67)	0.00	0.00	0.00	(621,549.67)	32,120.51	0.00	(633,670.18) (633,670.18)	0.00	0.00	
Account: 94 - MUNI MAINT												
Beg Yr Bal	Allocation	Total	Deposits	Transfers	Disb	Unexp Bal	Enc	B/L Rsvr	Bal Avail	Outstanding Overpymts	State Aid Avail to Adv	As
0.00	249,963.00	249,963.00	0.00	0.00	249,963.00	0.00	0.00	0.00	0.00 0.00	0.00	0.00	
Total Municipality: 197-HAM LAKE												
(1,371,437.67)	999,851.00	(371,586.67)	0.00	0.00	249,963.00	(621,549.67)	32,120.51	0.00	(633,670.18)	0.00	0.00	

This report uses tables: CM_ACCT_ADV_FROM_SUMM, CM_ACCT_ENC_SUMM, CM_ACCT_OVERPAYMT_SUM, CO_MUNI_ACCT_BALS,

**CITY OF HAM LAKE
MSA FUNDS**

Project Number	Project Location	Date	CONSTRUCTION		MAINTENANCE	
			Notes	Alloiments/ Disbursements	Date	Amount
			2015 CARRY-OVER	\$1,941,672.91		\$0.00
		01/28/16	2016 ALLOTMENT	\$671,558.00		\$223,853.00
197-103-03	169th Ave. & Xylite St.	08/02/16	Initial Payment with \$58,867.84 encumbered	(\$1,336,622.17)	02/01/16	(\$111,926.50)
197-124-03	Eveleth St. S of CSAH 116	08/04/16	Partial Payment with \$30,237.68 encumbered	(\$689,751.56)	07/06/16	(\$111,926.50)
			2016 CARRY-OVER	\$586,857.18		\$0.00
		01/26/17	2017 ALLOTMENT	\$654,720.00		\$218,240.00
197-020-05	CSAH 116 W of Jefferson Street	03/16/17	Partial Payment with \$3,925.68 encumbered	(\$97,473.29)	01/26/17	(\$109,120.00)
197-125-04	Ulysses St. - 176th Ave. to 179th Ave.	05/25/17	Initial Payment with \$24,572.71 encumbered	(\$628,032.64)	07/05/17	(\$109,120.00)
			2017 CARRY-OVER	\$516,071.25		\$0.00
		01/23/18	2018 ALLOTMENT	\$732,541.00		\$244,181.00
197-103-03	169th Ave. & Xylite St.	04/25/18	Final Payment	(\$292,609.80)		
197-104-08	147th Ave. - Aberdeen St. to 149th Ave.	08/08/18	Initial Payment with \$32,120.51 encumbered	(\$782,433.43)		
197-124-03	Eveleth St. S of CSAH 116	10/29/18	Partial Final Payment	(\$112,950.12)	01/23/18	(\$122,090.50)
197-125-04	Ulysses St. - 176th Ave. to 179th Ave.	11/20/18	Partial Final Payment	(\$24,572.71)	07/05/18	(\$122,090.50)
			2018 CARRY-OVER	\$36,046.19		\$0.00
		01/29/19	2019 ALLOTMENT	\$743,146.00		\$247,716.00
		02/05/19	ADVANCE FROM '20 (\$814,125) & '21 (\$624,261.87)	\$1,438,386.87		
197-125-04	Ulysses St. - 176th Ave. to 179th Ave.	02/06/19	Remaining Final Payment	(\$99,276.75)		
197-124-03	Eveleth St. S of CSAH 116	02/06/19	Remaining Final Payment	(\$4,630.26)		
197-020-06	CSAH 17/CSAH 18 signalization	02/19/19	Initial Payment with \$441.16 encumbered	(\$15,762.69)		
197-108-02	155th Ave. - Naples St. to CSAH 17	09/12/19	Initial Payment with \$61,736.93 encumbered	(\$1,481,686.43)		
197-114-06	University Ave. - Andover Blvd. to 157th Ave.	11/05/19	Final Payment	(\$557,292.55)	01/29/19	(\$123,858.00)
197-114-06	University Ave. - Andover Blvd. to 157th Ave.	12/05/19	Final Payment #2	(\$58,930.38)	07/02/19	(\$123,858.00)
			2019 CARRY-OVER	(\$0.00)		\$0.00
		01/27/20	2020 ALLOTMENT - \$814,125 (advanced - 2/5/19)	\$0.00		\$271,375.00
197-020-05	CSAH 116 W of Jefferson St.	02/12/20	Final Payment #1 - 5% encumbrance	(\$3,925.68)		
197-020-06	CSAH 17/CSAH 18 signalization	05/14/20	Final Payment #1	(\$440.94)		
		09/11/20	ADVANCE FROM '21 (\$125,626.13) & '22 (\$621,549.67)	\$747,175.80		
197-020-05	CSAH 116 W of Jefferson St.	09/11/20	Final Payment #2	(\$9,811.80)		
197-020-06	CSAH 17/CSAH 18 signalization	09/11/20	Final Payment #2	(\$1,504.50)	02/03/20	(\$135,687.50)
197-124-04	Aberdeen St. - 144th Ave. to 145th Ave.	09/21/20	Initial Payment with \$15,823.70 encumbered	(\$731,492.88)	07/07/20	(\$135,687.50)
			2020 CARRY-OVER	\$0.00		\$0.00
		01/27/21	2021 ALLOTMENT - \$749,888 (advanced 2/5/19 & 9/11/20)	\$0.00	01/27/21	\$249,963.00
			ADVANCE FROM '22 (\$153,450.33) & '23 (\$337,196.95)	\$490,647.28		
197-104-08	147th Ave. - Aberdeen St. to 149th Ave.	8/xx/21	Final Payment (pending final inspection)	\$0.00		
197-108-02	155th Ave. - Naples St. to CSAH 17	9/xx/21	Final Payment	(\$86,487.36)		
197-124-04	Aberdeen St. - 144th Ave. to 145th Ave.	9/xx/21	Final Payment	(\$404,159.92)		
					02/02/21	(\$124,981.50)
					07/06/21	(\$124,981.50)
			2021 CARRY-OVER	\$0.00		\$0.00
			2022 ALLOTMENT - \$775,000 (advanced 9/11/20 & 9/21)	\$0.00		\$0.00
197-110-03	181st Ave. - Concord Dr. to 890' W of TH 65	xx/xx/22	Estimated Initial Payment with \$xxx encumbered	(\$420,000.00)		
					2/xx/22	\$0.00
					7/xx/22	\$0.00
			2022 CARRY-OVER	(\$420,000.00)		
			2023 ALLOTMENT - \$825,000 (partially advanced 9/21)	\$487,803.05		
					2/xx/23	\$0.00
					7/xx/23	\$0.00
			2023 CARRY-OVER	\$67,803.05		
			2024 ALLOTMENT - estimated	\$835,000.00		
197-118-02	Jackson St. - 0.16 N of McKay to 0.06 S of 154th	xx/xx/24	Estimated Initial Payment with \$xxx encumbered	(\$328,300.00)		
197-020-07	CSAH 116 E of Jefferson St.	xx/xx/24	Estimated Initial Payment with \$xxx encumbered	(\$310,000.00)	2/xx/24	\$0.00
197-119-02	Chisholm St. - CSAH 18 to 176th Ln.	xx/xx/24	Estimated Initial Payment with \$xxx encumbered	(\$300,000.00)	7/xx/24	\$0.00
			2024 CARRY-OVER	(\$35,496.95)		
			2025 ALLOTMENT - estimated	\$840,000.00		
197-020-07	CSAH 116 E of Jefferson St.	xx/xx/25	Estimated Final Payment	(\$57,500.00)	2/xx/25	\$0.00
197-119-02	Chisholm St. - CSAH 18 to 176th Ln.	xx/xx/25	Estimated Final Payment	(\$67,500.00)		
197-118-02	Jackson St. - 0.16 N of McKay to 0.06 S of 154th	xx/xx/25	Estimated Final Payment	(\$82,100.00)	7/xx/25	\$0.00
			2025 CARRY-OVER	\$597,403.05		
			2026 ALLOTMENT - estimated	\$845,000.00		
197-125-06	Central Ave. - 149th Ave. to 152nd Ave.	xx/xx/26	Estimated Initial Payment with \$xxx encumbered	(\$518,100.00)	2/xx/26	\$0.00
					7/xx/26	\$0.00
			2026 CARRY-OVER	\$924,303.05		
			2027 ALLOTMENT - estimated	\$850,000.00		
197-125-06	Central Ave. - 149th Ave. to 152nd Ave.	xx/xx/27	Estimated Final Payment	(\$91,500.00)	2/xx/27	\$0.00
					7/xx/27	\$0.00
				\$1,682,803.05		\$0.00

STATE AID PAYMENT REQUEST

County/City Ham Lake Report: Partial Final Project Type: SP SAP Project #: 197 108 002
 Bid Opening Date: 8/29/2019 Award Date: 9/3/2019 Tied Projects: _____
 Local Proj. ID (opt) _____ Bond Co. Travelers Casualty & Surety Contractor: Dresel Contracting
 Constr. Completed Date: _____

Project Funding: Funding below is for this project number only. Costs for projects or agreements tied to this project should not be included on this request. A separate State Aid Payment Request must be submitted for each project number. Final reports must include a final estimate detailing quantity, unit price and extension splits for each project number. Bridge eligible items must be identified on the abstract.

<u>Contract Costs (this SAP only)</u>	<u>Total Obligated Costs</u>	<u>% Requested</u>	<u>Amount Requested</u>	<u>Less Previous Payments</u>	<u>Pay at this time</u>
FUND					
Municipal (MSAS > 5000) (SAAS Act.# 90)	\$ 1,252,333.49	100%	\$ 1,252,333.49	\$ 1,173,001.76	\$ 79,331.73
Municipal (MSAS > 5000) (SAAS Act.#90P) (only for Certified Complete Cities-050 control sect#)			\$ -		\$ -
Regular (CSAH) (SAAS Act. # 70)			\$ -		\$ -
Municipal (MSAH < 5000) (SAAS Act. # 71)			\$ -		\$ -
Town Bridge (SAAS Act. # 76) (identify eligible items)			\$ -		\$ -
Special Town Bridge (SAAS Act. # 75) (identify eligible items)			\$ -		\$ -
Turnback / Flex _____ specify _____			\$ -		\$ -
State Park (SAAS Act. # 73)			\$ -		\$ -
State Aid Disaster			\$ -		\$ -
Local / Other _____ specify _____					
Local / Other _____ specify _____					
Federal					

Check if Eligible Items are 100% Complete for State Transportation Bond for Locals.

<u>State Transportation Bonds for Locals</u> (identify eligible items)	<u>Acct#</u>	<u>Total Grant Amount</u>	<u>Certified & Paid To Date</u>	<u>Amount Requested</u>	<u>Less Previous Payments</u>	<u>Pay at this time</u>
						\$ -
Sub-Total		\$ 1,252,333.49		\$ 1,252,333.49	\$ 1,173,001.76	\$ 79,331.73

<u>Other Costs</u>	<u>FUND</u>	<u>*Description</u>	<u>Total Oblig/Paid</u>	<u>% Requested</u>	<u>Amount Requested</u>	<u>Less Previous Payments</u>	<u>Pay at this time</u>
	MSAS	ENGR	\$ 313,083.37	100%	\$ 313,083.37	\$ 308,684.67	\$ 4,398.70
	MSAS	ROW	\$ 2,756.93	100%	\$ 2,756.93	\$ -	\$ 2,756.93
					\$ -		\$ -
					\$ -		\$ -
		TOTAL	\$ 1,568,173.79		\$ 1,568,173.79	\$ 1,481,686.43	\$ 86,487.36

Remarks: _____

***Other Cost Description:** Right-of-Way (ROW), Engineering (ENG)-Max 25%, Maintenance Facility (MF), Force Account (FA). FA includes work performed by force labor such as work by local agencies, R/R, utility work, or contractors if not let under bids. Also agency furnished materials must include a FA agreement.

I certify that: (a) Engineering & ROW costs requested above are a reimbursement for costs incurred. ROW may be based on a percentage of estimated parcel appraisals until final. (b) Wage rates specified in the contract were paid and are equal or exceed the minimum hourly rates required for work on state funded projects as determined by the MN Dept. of Labor and Industry. (c) Inspection on the state-aid funded portions of this project were performed by personnel certified in accordance with state-aid directives. (d) Work required by this contract was completed in accordance with and pursuant to the terms of this contract. (e) Payment and performance bonds for the full amount of the contract have been provided with aggregate liability of the bond(s) to twice the full amount of the contract.

I certify all costs are reasonable. For finals I accept all work performance as in compliance with the approved plans and specifications.

Approved by: County/City Engineer _____
Date: ____/____/____

Approved by: District State Aid Engineer _____
Date: ____/____/____

Approved by: State Aid Finance _____
Date: ____/____/____

Memorandum

Date: DATE, 2021
To: Mayor and Councilmembers
From: Tom Collins, City Engineer
Subject: Aberdeen Street from 144th Avenue to 145th Avenue

Introduction:

The final payment for North Pine Aggregate, Inc. for the construction of Aberdeen Street from 144th Avenue to 145th Avenue is attached. All work for this project has been satisfactorily completed.

Discussion:

The total construction cost of the work completed is \$1,292,225.50. This is \$97,018.39 (8.12%) over the revised contract amount of \$1,195,207.11. The overage is primarily due to earthwork, driveway Class 5 and bituminous pavement.

The earthwork overage is a combination of common excavation (\$8,219.75 overage), subgrade excavation (\$5,477.55 overage), muck excavation (\$8,102.40 overage) and select granular embankment (\$26,156.00 overage). The subgrade, muck excavation, common excavation and select granular embankment overages are primarily due to the correction of soils in the vicinity of County Ditch #59. The majority of earthwork overage is due to the soil correction required due to soil borings that were erroneous and did not represent the underlying soils.

The driveway aggregate base (\$2,923.20 overage) and bituminous driveway pavement (\$16,545.00 overage) was due to Fire Truck Auto Sales expansion of the parking lot removal. The parking lot pavement was replaced for the temporary construction easement agreement to install the storm pipe along the west side of Aberdeen Street from 144th Avenue to County Ditch #59 and for a resident requesting a bituminous driveway rather than the concrete driveway that was planned. The aggregate base (\$6,720.30 overage) is due to the decrease in pavement reclamation from the bituminous thickness on 145th Avenue and expanded removal of bituminous.

The bituminous non wearing course mixture (\$6,592.95 overage) and the bituminous wearing course mixture (\$5,830.88 overage) was due to the Contractor paving additional roadway due to a field change needed to match the existing roadway on Aberdeen Street, north and south of the box culvert, a field change needed to match the existing roadway on 145th Avenue and additional bituminous for the extension of the sawcut on 144th Avenue. The Contractor also paved an average of 2.4 inches for both the bituminous non-wearing course and the bituminous wearing course which is 0.4 inches above the plan quantity. Per the contract documents, the allowable deviation from the contract thickness is 0.25 inches, so part of the overage is for a total of 2.25 inches of non-wearing and wearing courses for the cul-de-sac on 145th Avenue and a portion of Aberdeen Street. The City did not pay for the additional 0.15 inches.

Recommendation:

It is recommended that the project be accepted and the attached payment to North Pine Aggregate, Inc. be approved. Approval will commence the one-year warranty period that the project is free from all defects due to faulty workmanship or defective materials.

Date DATE, 2021

To: Mayor and Councilmembers
City of Ham Lake
15544 Central Avenue N.E.
Ham Lake, Minnesota 55304

Ref: Aberdeen Street from 144th Avenue to 145th Avenue

Contractor: North Pine Aggregate
14551 Lake Drive
Forest Lake, MN 55025

Final Contractor Payment

STATEMENT OF WORK

ITEM NUMBER	ITEM DESCRIPTION	UNIT	EST. QTY	UNIT PRICE	TOTAL	PRIOR UNITS	UNITS THIS EST.	UNITS TO DATE	AMOUNT TO DATE
2021.501	MOBILIZATION	LUMP SUM	1	\$53,500.00	\$53,500.00	1	0	1	\$53,500.00
2101.505	CLEARING	ACRE	0.9	\$13,250.00	\$11,925.00	1.02	0	1.02	\$13,515.00
2101.505	GRUBBING	ACRE	0.9	\$2,650.00	\$2,385.00	1.04	0	1.04	\$2,756.00
2102.503	PAVEMENT MARKING REMOVAL	LIN FT	154	\$5.30	\$816.20	281	0	281	\$1,489.30
2102.518	PAVEMENT MARKING REMOVAL	SQ FT	64	\$10.55	\$675.20	64	0	64	\$675.20
2104.502	REMOVE VEHICULAR GATE	EACH	1	\$440.00	\$440.00	1	0	1	\$440.00
2104.502	REMOVE LIGHT STANDARD AND LUMINAIRE	EACH	1	\$3,500.00	\$3,500.00	1	0	1	\$3,500.00
2104.502	REMOVE CONCRETE SLAB	EACH	1	\$205.00	\$205.00	1	0	1	\$205.00
2104.502	REMOVE SIGN	EACH	19	\$52.80	\$1,003.20	19	0	19	\$1,003.20
2104.502	REMOVE MAIL BOX SUPPORT	EACH	3	\$52.80	\$158.40	3	0	3	\$158.40
2104.503	SAWING CONCRETE PAVEMENT (FULL DEPTH)	LIN FT	10	\$14.25	\$142.50	10	0	10	\$142.50
2104.503	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LIN FT	556	\$3.50	\$1,946.00	583.5	0	583.5	\$2,042.25
2104.503	REMOVE PIPE CULVERTS	LIN FT	263	\$14.00	\$3,682.00	263	0	263	\$3,682.00
2104.503	REMOVE BITUMINOUS CURB	LIN FT	441	\$2.00	\$882.00	441	0	441	\$882.00
2104.503	REMOVE CONCRETE CURB	LIN FT	195	\$3.00	\$585.00	190	0	190	\$570.00
2104.503	REMOVE CHAIN LINK FENCE	LIN FT	1,480	\$6.55	\$9,694.00	1,480	0	1,480	\$9,694.00
2104.504	REMOVE CONCRETE DRIVEWAY PAVEMENT	SQ YD	14	\$24.50	\$343.00	13.33	0	13.33	\$326.59
2104.504	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	SQ YD	545	\$5.00	\$2,725.00	566	0	566	\$2,830.00
2105.504	GEOTEXTILE FABRIC TYPE 5	SQ YD	1,808	\$4.75	\$8,588.00	2,260	0	2,260	\$10,735.00
2105.507	SUBGRADE EXCAVATION	CU YD	2,809	\$7.80	\$21,910.20	3,511.25	0	3,511.25	\$27,387.75
2105.507	COMMON EXCAVATION	CU YD	4,697	\$7.00	\$32,879.00	5,871.25	0	5,871.25	\$41,098.75
2105.507	MUCK EXCAVATION	CU YD	3,072	\$10.55	\$32,409.60	3,840	0	3,840	\$40,512.00
2105.507	GRANULAR BORROW (CV)	CU YD	4,764	\$17.70	\$84,322.80	6,241.74	0	6,241.74	\$110,478.80
2211.507	AGGREGATE BASE (LV) CLASS 6	CU YD	201	\$25.25	\$5,075.25	251	0	251	\$6,337.75
2211.507	AGGREGATE BASE (CV) CLASS 5 - DRIVEWAY	CU YD	68	\$84.00	\$5,712.00	102.8	0	102.8	\$8,635.20
2211.509	AGGREGATE BASE CLASS 5	TON	1,071	\$23.75	\$25,436.25	1,353.96	0	1,353.96	\$32,156.55
2215.504	FULL DEPTH RECLAMATION	SQ YD	2,222	\$3.50	\$7,777.00	2,568	0	2,568	\$8,988.00
2232.504	MILL BITUMINOUS SURFACE (1.5")	SQ YD	18	\$11.60	\$208.80	18	0	18	\$208.80
2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B) 1.0" THICK	SQ YD	328	\$21.10	\$6,920.80	309.1	0	309.1	\$6,522.01
2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B) 2.0" THICK	SQ YD	65	\$50.00	\$3,250.00	299	0	299	\$14,950.00
2360.504	TYPE SP 12.5 WEARING COURSE MIXTURE (2;B) 2.0" THICK	SQ YD	328	\$25.50	\$8,364.00	518	0	518	\$13,209.00
2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (2;C)	TON	499	\$103.50	\$51,646.50	562.7	0	562.7	\$58,239.45
2360.509	TYPE SP 12.5 WEARING COURSE MIXTURE (2;C)	TON	497	\$88.75	\$44,108.75	562.7	0	562.7	\$49,939.63
2411.502	CONCRETE SPILLWAY	EACH	1	\$600.00	\$600.00	1	0	1	\$600.00
2411.502	CONCRETE OUTLET STRUCTURE	EACH	1	\$11,025.00	\$11,025.00	1	0	1	\$11,025.00
2412.502	10X7 PRECAST CONCRETE BOX CULVERT END SECTION	EACH	4	\$13,750.00	\$55,000.00	4	0	4	\$55,000.00
2412.503	10X7 PRECAST CONCRETE BOX CULVERT	LIN FT	150	\$1,375.00	\$206,250.00	150	0	150	\$206,250.00
2451.603	DRAINTILE CHOKER STONE	LIN FT	370	\$3.55	\$1,313.50	370	0	370	\$1,313.50
2451.603	#57 STONE BEDDING	LIN FT	370	\$6.75	\$2,497.50	370	0	370	\$2,497.50
2501.502	12" GS PIPE APRON	EACH	1	\$490.00	\$490.00	1	0	1	\$490.00
2501.502	15" GS PIPE APRON	EACH	5	\$515.00	\$2,575.00	5	0	5	\$2,575.00
2501.502	24" GS PIPE APRON	EACH	1	\$615.00	\$615.00	1	0	1	\$615.00
2501.502	12" RC PIPE APRON	EACH	1	\$875.00	\$875.00	1	0	1	\$875.00
2501.502	15" RC PIPE APRON	EACH	4	\$900.00	\$3,600.00	4	0	4	\$3,600.00
2501.502	36" RC PIPE APRON	EACH	2	\$1,825.00	\$3,650.00	2	0	2	\$3,650.00
2501.602	POND OUTLET BAFFLE	EACH	1	\$4,000.00	\$4,000.00	1	0	1	\$4,000.00
2501.602	TRASH GUARD FOR 12" PIPE APRON	EACH	2	\$225.00	\$450.00	2	0	2	\$450.00
2501.602	TRASH GUARD FOR 15" PIPE APRON	EACH	9	\$250.00	\$2,250.00	9	0	9	\$2,250.00
2501.602	TRASH GUARD FOR 24" PIPE APRON	EACH	1	\$185.00	\$185.00	1	0	1	\$185.00
2501.602	TRASH GUARD FOR 36" PIPE APRON	EACH	2	\$1,775.00	\$3,550.00	2	0	2	\$3,550.00

Date DATE, 2021
 To: Mayor and Councilmembers
 City of Ham Lake
 15544 Central Avenue N.E.
 Ham Lake, Minnesota 55304

Ref: Aberdeen Street from 144th Avenue to 145th Avenue

Contractor: North Pine Aggregate
 14551 Lake Drive
 Forest Lake, MN 55025

Final Contractor Payment

STATEMENT OF WORK

ITEM NUMBER	ITEM DESCRIPTION	UNIT	EST. QTY	UNIT PRICE	TOTAL	PRIOR UNITS	UNITS THIS EST.	UNITS TO DATE	AMOUNT TO DATE
2502.502	6" PVC PIPE TEE	EACH	2	\$110.00	\$220.00	2	0	2	\$220.00
2502.503	6" PVC PIPE DRAIN	LIN FT	47	\$14.50	\$681.50	47	0	47	\$681.50
2502.602	6" PVC PIPE DRAIN CLEANOUT	EACH	4	\$345.00	\$1,380.00	4	0	4	\$1,380.00
2502.603	DRAIN TILE	LIN FT	369	\$18.00	\$6,642.00	369	0	369	\$6,642.00
2503.503	12" CP PIPE SEWER	LIN FT	9	\$115.00	\$1,035.00	9	0	9	\$1,035.00
2503.503	15" CP PIPE SEWER	LIN FT	118	\$35.75	\$4,218.50	118	0	118	\$4,218.50
2503.503	24" CP PIPE SEWER	LIN FT	46	\$55.00	\$2,530.00	46	0	46	\$2,530.00
2503.503	22" SPAN RC PIPE-ARCH SEWER CLASS IIA	LIN FT	124	\$86.75	\$10,757.00	124	0	124	\$10,757.00
2503.503	12" RC PIPE SEWER DESIGN 3006 CLASS IV	LIN FT	184	\$44.00	\$8,096.00	212	0	212	\$9,328.00
2503.503	15" RC PIPE SEWER DESIGN 3006 CLASS IV	LIN FT	433	\$46.00	\$19,918.00	443	0	443	\$20,378.00
2503.503	18" RC PIPE SEWER DESIGN 3006 CLASS IV	LIN FT	169	\$51.25	\$8,661.25	169	0	169	\$8,661.25
2503.503	36" RC PIPE SEWER DESIGN 3006 CLASS IV	LIN FT	473	\$135.00	\$63,855.00	473	0	473	\$63,855.00
2504.602	6" GATE VALVE	EACH	2	\$865.00	\$1,730.00	2	0	2	\$1,730.00
2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 1	EACH	4	\$2,675.00	\$10,700.00	4	0	4	\$10,700.00
2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 2	EACH	1	\$5,765.00	\$5,765.00	1	0	1	\$5,765.00
2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 2	EACH	1	\$10,000.00	\$10,000.00	1	0	1	\$10,000.00
2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 3	EACH	2	\$9,055.00	\$18,110.00	2	0	2	\$18,110.00
2506.602	CATCH BASIN	EACH	2	\$2,765.00	\$5,530.00	2	0	2	\$5,530.00
2506.602	CONNECT INTO EXISTING MANHOLE	EACH	1	\$1,775.00	\$1,775.00	1	0	1	\$1,775.00
2511.504	GEOTEXTILE FILTER TYPE 4	SQ YD	209	\$3.50	\$731.50	119	0	119	\$416.50
2511.507	RANDOM RIPRAP CLASS III	CU YD	56	\$95.00	\$5,320.00	49.38	0	49.38	\$4,691.10
2531.503	CONCRETE CURB AND GUTTER DESIGN B612	LIN FT	145	\$20.00	\$2,900.00	174	0	174	\$3,480.00
2531.503	CONCRETE CURB AND GUTTER DESIGN B618	LIN FT	1,918	\$20.00	\$38,360.00	1,918	0	1,918	\$38,360.00
2531.504	6" CONCRETE DRIVEWAY PAVEMENT	SQ YD	14	\$71.30	\$998.20	35.7	0	35.7	\$2,545.41
2540.602	MAIL BOX SUPPORT	EACH	3	\$185.00	\$555.00	3	0	3	\$555.00
2563.601	TRAFFIC CONTROL	LUMP SUM	1	\$6,600.00	\$6,600.00	1	0	1	\$6,600.00
2564.518	SIGN PANELS TYPE C	SQ FT	59.25	\$68.65	\$4,067.51	59.25	0	59.25	\$4,067.51
2573.501	STABILIZED CONSTRUCTION EXIT	LUMP SUM	1	\$4,375.00	\$4,375.00	1	0	1	\$4,375.00
2573.502	STORM DRAIN INLET PROTECTION	EACH	12	\$155.00	\$1,860.00	12	0	12	\$1,860.00
2573.502	CULVERT END CONTROLS	EACH	7	\$185.00	\$1,295.00	7	0	7	\$1,295.00
2573.503	SILT FENCE; TYPE MS	LIN FT	5,731	\$1.80	\$10,315.80	5,379	0	5,379	\$9,682.20
2573.503	FLOTATION SILT CURTAIN TYPE MOVING WATER	LIN FT	42	\$18.00	\$756.00	42	0	42	\$756.00
2575.601	EROSION CONTROL	LUMP SUM	1	\$20,750.00	\$20,750.00	1	0	1	\$20,750.00
2575.605	TURF ESTABLISHMENT	ACRE	2.4	\$3,700.00	\$8,880.00	2.8	0	2.8	\$10,360.00
2582.503	4" DOUBLE SOLID LINE PAINT	LIN FT	939	\$2.10	\$1,971.90	861	0	861	\$1,808.10
2582.503	4" SOLID LINE MULTI-COMPONENT GROUND IN (WR)	LIN FT	539	\$5.55	\$2,991.45	515	0	515	\$2,858.25
TOTAL CONTRACT AMOUNT					\$1,026,474.06				\$1,123,492.45

CHANGE ORDER NO. 1

ITEM NUMBER	ITEM DESCRIPTION	UNIT	EST. QTY	UNIT PRICE	TOTAL	PRIOR UNITS	UNITS THIS EST.	UNITS TO DATE	AMOUNT TO DATE
2105.507	MUCK EXCAVATION	CU YD	0	\$10.55	\$0.00	3,480.81	0	3,480.81	\$36,722.55
2105.507	GRANULAR BORROW	CU YD	0	\$17.70	\$0.00	7,145	0	7,145	\$126,466.50
2573.503	FLOTATION SILT CURTAIN TYPE MOVING WATER	LIN FT	0	\$18.00	\$0.00	308	0	308	\$5,544.00
TOTAL CHANGE ORDER #1									\$168,733.05

CHANGER ORDER #1 CONTRACT ADJUSTMENT

\$168,733.05

Date DATE, 2021

To: Mayor and Councilmembers
City of Ham Lake
15544 Central Avenue N.E.
Ham Lake, Minnesota 55304

Ref: Aberdeen Street from 144th Avenue to 145th Avenue

Contractor: North Pine Aggregate
14551 Lake Drive
Forest Lake, MN 55025

Final Contractor Payment

2021.501	MOBILIZATION	LUMP SUM	1	\$53,500.00	\$53,500.00	1	0	1	\$53,500.00
2101.505	CLEARING	ACRE	0.9	\$13,250.00	\$11,925.00	1.02	0	1.02	\$13,515.00
2101.505	GRUBBING	ACRE	0.9	\$2,650.00	\$2,385.00	1.04	0	1.04	\$2,756.00
2102.503	PAVEMENT MARKING REMOVAL	LIN FT	154	\$5.30	\$816.20	281	0	281	\$1,489.30
2102.518	PAVEMENT MARKING REMOVAL	SQ FT	64	\$10.55	\$675.20	64	0	64	\$675.20
2104.502	REMOVE VEHICULAR GATE	EACH	1	\$440.00	\$440.00	1	0	1	\$440.00
2104.502	REMOVE LIGHT STANDARD AND LUMINAIRE	EACH	1	\$3,500.00	\$3,500.00	1	0	1	\$3,500.00
2104.502	REMOVE CONCRETE SLAB	EACH	1	\$205.00	\$205.00	1	0	1	\$205.00
2104.502	REMOVE SIGN	EACH	19	\$52.80	\$1,003.20	19	0	19	\$1,003.20
2104.502	REMOVE MAIL BOX SUPPORT	EACH	3	\$52.80	\$158.40	3	0	3	\$158.40
2104.503	SAWING CONCRETE PAVEMENT (FULL DEPTH)	LIN FT	10	\$14.25	\$142.50	10	0	10	\$142.50
2104.503	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LIN FT	556	\$3.50	\$1,946.00	583.5	0	583.5	\$2,042.25
2104.503	REMOVE PIPE CULVERTS	LIN FT	263	\$14.00	\$3,682.00	263	0	263	\$3,682.00
2104.503	REMOVE BITUMINOUS CURB	LIN FT	441	\$2.00	\$882.00	441	0	441	\$882.00
2104.503	REMOVE CONCRETE CURB	LIN FT	195	\$3.00	\$585.00	190	0	190	\$570.00
2104.503	REMOVE CHAIN LINK FENCE	LIN FT	1,480	\$6.55	\$9,694.00	1,480	0	1,480	\$9,694.00
2104.504	REMOVE CONCRETE DRIVEWAY PAVEMENT	SQ YD	14	\$24.50	\$343.00	13.33	0	13.33	\$326.59
2104.504	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	SQ YD	545	\$5.00	\$2,725.00	566	0	566	\$2,830.00
2105.504	GEOTEXTILE FABRIC TYPE 5	SQ YD	1,808	\$4.75	\$8,588.00	2,260	0	2,260	\$10,735.00
2105.507	SUBGRADE EXCAVATION	CU YD	2,809	\$7.80	\$21,910.20	3,511.25	0	3,511.25	\$27,387.75
2105.507	COMMON EXCAVATION	CU YD	4,697	\$7.00	\$32,879.00	5,871.25	0	5,871.25	\$41,098.75
2105.507	MUCK EXCAVATION	CU YD	3,072	\$10.55	\$32,409.60	3,840	0	3,840	\$40,512.00
2105.507	GRANULAR BORROW (CV)	CU YD	4,764	\$17.70	\$84,322.80	6,241.74	0	6,241.74	\$110,478.80
2211.507	AGGREGATE BASE (LV) CLASS 6	CU YD	201	\$25.25	\$5,075.25	251	0	251	\$6,337.75
2211.507	AGGREGATE BASE (CV) CLASS 5 - DRIVEWAY	CU YD	68	\$84.00	\$5,712.00	102.8	0	102.8	\$8,635.20
2211.509	AGGREGATE BASE CLASS 5	TON	1,071	\$23.75	\$25,436.25	1,353.96	0	1,353.96	\$32,156.55
2215.504	FULL DEPTH RECLAMATION	SQ YD	2,222	\$3.50	\$7,777.00	2,568	0	2,568	\$8,988.00
2232.504	MILL BITUMINOUS SURFACE (1.5")	SQ YD	18	\$11.60	\$208.80	18	0	18	\$208.80
2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B) 1.0" THICK	SQ YD	328	\$21.10	\$6,920.80	309.1	0	309.1	\$6,522.01
2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B) 2.0" THICK	SQ YD	65	\$50.00	\$3,250.00	299	0	299	\$14,950.00
2360.504	TYPE SP 12.5 WEARING COURSE MIXTURE (2;B) 2.0" THICK	SQ YD	328	\$25.50	\$8,364.00	518	0	518	\$13,209.00
2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (2;C)	TON	499	\$103.50	\$51,646.50	562.7	0	562.7	\$58,239.45
2360.509	TYPE SP 12.5 WEARING COURSE MIXTURE (2;C)	TON	497	\$88.75	\$44,108.75	562.7	0	562.7	\$49,939.63
2411.502	CONCRETE SPILLWAY	EACH	1	\$600.00	\$600.00	1	0	1	\$600.00
2411.502	CONCRETE OUTLET STRUCTURE	EACH	1	\$11,025.00	\$11,025.00	1	0	1	\$11,025.00
2412.502	10X7 PRECAST CONCRETE BOX CULVERT END SECTION	EACH	4	\$13,750.00	\$55,000.00	4	0	4	\$55,000.00
2412.503	10X7 PRECAST CONCRETE BOX CULVERT	LIN FT	150	\$1,375.00	\$206,250.00	150	0	150	\$206,250.00
2451.603	DRAINTILE CHOKER STONE	LIN FT	370	\$3.55	\$1,313.50	370	0	370	\$1,313.50
2451.603	#57 STONE BEDDING	LIN FT	370	\$6.75	\$2,497.50	370	0	370	\$2,497.50
2501.502	12" GS PIPE APRON	EACH	1	\$490.00	\$490.00	1	0	1	\$490.00
2501.502	15" GS PIPE APRON	EACH	5	\$515.00	\$2,575.00	5	0	5	\$2,575.00
2501.502	24" GS PIPE APRON	EACH	1	\$615.00	\$615.00	1	0	1	\$615.00
2501.502	12" RC PIPE APRON	EACH	1	\$875.00	\$875.00	1	0	1	\$875.00
2501.502	15" RC PIPE APRON	EACH	4	\$900.00	\$3,600.00	4	0	4	\$3,600.00
2501.502	36" RC PIPE APRON	EACH	2	\$1,825.00	\$3,650.00	2	0	2	\$3,650.00
2501.602	POND OUTLET BAFFLE	EACH	1	\$4,000.00	\$4,000.00	1	0	1	\$4,000.00
2501.602	TRASH GUARD FOR 12" PIPE APRON	EACH	2	\$225.00	\$450.00	2	0	2	\$450.00
2501.602	TRASH GUARD FOR 15" PIPE APRON	EACH	9	\$250.00	\$2,250.00	9	0	9	\$2,250.00
2501.602	TRASH GUARD FOR 24" PIPE APRON	EACH	1	\$185.00	\$185.00	1	0	1	\$185.00
2501.602	TRASH GUARD FOR 36" PIPE APRON	EACH	2	\$1,775.00	\$3,550.00	2	0	2	\$3,550.00
2502.502	6" PVC PIPE TEE	EACH	2	\$110.00	\$220.00	2	0	2	\$220.00
2502.503	6" PVC PIPE DRAIN	LIN FT	47	\$14.50	\$681.50	47	0	47	\$681.50
2502.602	6" PVC PIPE DRAIN CLEANOUT	EACH	4	\$345.00	\$1,380.00	4	0	4	\$1,380.00
2502.603	DRAIN TILE	LIN FT	369	\$18.00	\$6,642.00	369	0	369	\$6,642.00

Date DATE, 2021

To: Mayor and Councilmembers
 City of Ham Lake
 15544 Central Avenue N.E.
 Ham Lake, Minnesota 55304

Ref: Aberdeen Street from 144th Avenue to 145th Avenue

Contractor: North Pine Aggregate
 14551 Lake Drive
 Forest Lake, MN 55025

Final Contractor Payment

2503.503	12" CP PIPE SEWER	LIN FT	9	\$115.00	\$1,035.00	9	0	9	\$1,035.00
2503.503	15" CP PIPE SEWER	LIN FT	118	\$35.75	\$4,218.50	118	0	118	\$4,218.50
2503.503	24" CP PIPE SEWER	LIN FT	46	\$55.00	\$2,530.00	46	0	46	\$2,530.00
2503.503	22" SPAN RC PIPE-ARCH SEWER CLASS IIA	LIN FT	124	\$86.75	\$10,757.00	124	0	124	\$10,757.00
2503.503	12" RC PIPE SEWER DESIGN 3006 CLASS IV	LIN FT	184	\$44.00	\$8,096.00	212	0	212	\$9,328.00
2503.503	15" RC PIPE SEWER DESIGN 3006 CLASS IV	LIN FT	433	\$46.00	\$19,918.00	443	0	443	\$20,378.00
2503.503	18" RC PIPE SEWER DESIGN 3006 CLASS IV	LIN FT	169	\$51.25	\$8,661.25	169	0	169	\$8,661.25
2503.503	36" RC PIPE SEWER DESIGN 3006 CLASS IV	LIN FT	473	\$135.00	\$63,855.00	473	0	473	\$63,855.00
2504.602	6" GATE VALVE	EACH	2	\$865.00	\$1,730.00	2	0	2	\$1,730.00
2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 1	EACH	4	\$2,675.00	\$10,700.00	4	0	4	\$10,700.00
2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 2	EACH	1	\$5,765.00	\$5,765.00	1	0	1	\$5,765.00
2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 2	EACH	1	\$10,000.00	\$10,000.00	1	0	1	\$10,000.00
2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 3	EACH	2	\$9,055.00	\$18,110.00	2	0	2	\$18,110.00
2506.602	CATCH BASIN	EACH	2	\$2,765.00	\$5,530.00	2	0	2	\$5,530.00
2506.602	CONNECT INTO EXISTING MANHOLE	EACH	1	\$1,775.00	\$1,775.00	1	0	1	\$1,775.00
2511.504	GEOTEXTILE FILTER TYPE 4	SQ YD	209	\$3.50	\$731.50	119	0	119	\$416.50
2511.507	RANDOM RIPRAP CLASS III	CU YD	56	\$95.00	\$5,320.00	49.38	0	49.38	\$4,691.10
2531.503	CONCRETE CURB AND GUTTER DESIGN B612	LIN FT	145	\$20.00	\$2,900.00	174	0	174	\$3,480.00
2531.503	CONCRETE CURB AND GUTTER DESIGN B618	LIN FT	1,918	\$20.00	\$38,360.00	1,918	0	1,918	\$38,360.00
2531.504	6" CONCRETE DRIVEWAY PAVEMENT	SQ YD	14	\$71.30	\$998.20	35.7	0	35.7	\$2,545.41
2540.602	MAIL BOX SUPPORT	EACH	3	\$185.00	\$555.00	3	0	3	\$555.00
2563.601	TRAFFIC CONTROL	LUMP SUM	1	\$6,600.00	\$6,600.00	1	0	1	\$6,600.00
2564.518	SIGN PANELS TYPE C	SQ FT	59.25	\$68.65	\$4,067.51	59.25	0	59.25	\$4,067.51
2573.501	STABILIZED CONSTRUCTION EXIT	LUMP SUM	1	\$4,375.00	\$4,375.00	1	0	1	\$4,375.00
2573.502	STORM DRAIN INLET PROTECTION	EACH	12	\$155.00	\$1,860.00	12	0	12	\$1,860.00
2573.502	CULVERT END CONTROLS	EACH	7	\$185.00	\$1,295.00	7	0	7	\$1,295.00
2573.503	SILT FENCE, TYPE MS	LIN FT	5,731	\$1.80	\$10,315.80	5,379	0	5,379	\$9,682.20
2573.503	FLOTATION SILT CURTAIN TYPE MOVING WATER	LIN FT	42	\$18.00	\$756.00	42	0	42	\$756.00
2575.601	EROSION CONTROL	LUMP SUM	1	\$20,750.00	\$20,750.00	1	0	1	\$20,750.00
2575.605	TURF ESTABLISHMENT	ACRE	2.4	\$3,700.00	\$8,880.00	2.8	0	2.8	\$10,360.00
2582.503	4" DOUBLE SOLID LINE PAINT	LIN FT	939	\$2.10	\$1,971.90	861	0	861	\$1,808.10
2582.503	4" SOLID LINE MULTI-COMPONENT GROUND IN (WR)	LIN FT	539	\$5.55	\$2,991.45	515	0	515	\$2,858.25
TOTAL CONTRACT AMOUNT					\$1,026,474.06				\$1,123,492.45

CHANGE ORDER NO. 1

ITEM NUMBER	ITEM DESCRIPTION	UNIT	EST. QTY	UNIT PRICE	TOTAL	PRIOR UNITS	UNITS THIS EST.	UNITS TO DATE	AMOUNT TO DATE
2105.507	MUCK EXCAVATION	CU YD	0	\$10.55	\$0.00	3,480.81	0	3,480.81	\$36,722.55
2105.507	GRANULAR BORROW	CU YD	0	\$17.70	\$0.00	7,145	0	7,145	\$126,466.50
2573.503	FLOTATION SILT CURTAIN TYPE MOVING WATER	LIN FT	0	\$18.00	\$0.00	308	0	308	\$5,544.00
TOTAL CHANGE ORDER #1									\$168,733.05

CHANGER ORDER #1 CONTRACT ADJUSTMENT

\$168,733.05

STATE AID PAYMENT REQUEST

County/City Ham Lake **Report:** Partial Final **Project Type:** SP SAP **Project #:** 197 124 004
Bid Opening Date: 1/15/2020 **Award Date:** 2/3/2020 **Tied Projects:** SP 0208-143
Local Proj. ID (opt) _____ **Bond Co.** Great American Insurance **Contractor:** North Pine Aggregate
Constr. Completed Date: 7/31/2021

Project Funding: Funding below is for this project number only. Costs for projects or agreements tied to this project should not be included on this request. A separate State Aid Payment Request must be submitted for each project number. Final reports must include a final estimate detailing quantity, unit price and extension splits for each project number. Bridge eligible items must be identified on the abstract.

<u>Contract Costs (this SAP only)</u>	<u>Total Obligated Costs</u>	<u>% Requested</u>	<u>Amount Requested</u>	<u>Less Previous Payments</u>	<u>Pay at this time</u>
FUND					
Municipal (MSAS > 5000) (SAAS Act.# 90)	\$ 316,474.06	95%	\$ 300,650.36		\$ 300,650.36
Municipal (MSAS > 5000) (SAAS Act.#90P) (only for Certified Complete Cities-050 control sect#)			\$ -		\$ -
Regular (CSAH) (SAAS Act. # 70)			\$ -		\$ -
Municipal (MSAH < 5000) (SAAS Act. # 71)			\$ -		\$ -
Town Bridge (SAAS Act. # 76) (identify eligible items)			\$ -		\$ -
Special Town Bridge (SAAS Act. # 75) (identify eligible items)			\$ -		\$ -
Turnback / Flex _____ specify _____			\$ -		\$ -
State Park (SAAS Act. # 73)			\$ -		\$ -
State Aid Disaster			\$ -		\$ -
Local / Other <u>Coop Agmt 1028354</u> specify _____	\$ 710,000.00				
Local / Other _____ specify _____					
Federal					
Local Agency Bonds Applied					

Check if Eligible Items are 100% Complete for State Transportation Bond for Locals.

<u>State Transportation Bonds for Locals</u> (identify eligible items)	<u>Acct#</u>	<u>Total Grant Amount</u>	<u>Certified & Paid To Date</u>	<u>Less Previous Payments</u>	<u>Pay at this time</u>
					\$ -
Sub-Total		\$ 1,026,474.06	\$ 300,650.36	\$ -	\$ 300,650.36

<u>Other Costs</u>	<u>FUND</u>	<u>*Description</u>	<u>Total Oblig/Paid</u>	<u>% Requested</u>	<u>Amount Requested</u>	<u>Less Previous Payments</u>	<u>Pay at this time</u>
	MSAS	ENGR	\$ 199,818.52	100%	\$ 199,818.52		\$ 199,818.52
	MSAS	ROW	\$ 231,024.00	100%	\$ 231,024.00		\$ 231,024.00
					\$ -		\$ -
					\$ -		\$ -
		TOTAL	\$ 1,457,316.58		\$ 731,492.88	\$ -	\$ 731,492.88

Remarks: _____

***Other Cost Description:** Right-of-Way (ROW), Engineering (ENG)-Max 25%, Maintenance Facility (MF), Force Account (FA). FA includes work performed by force labor such as work by local agencies, R/R, utility work, or contractors if not let under bids. Also agency furnished materials must include a FA agreement.

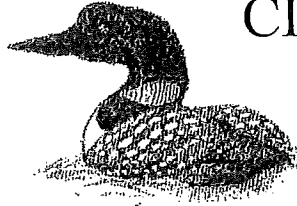
I certify that: (a) Engineering & ROW costs requested above are a reimbursement for costs incurred. ROW may be based on a percentage of estimated parcel appraisals until final. (b) Wage rates specified in the contract were paid and are equal or exceed the minimum hourly rates required for work on state funded projects as determined by the MN Dept. of Labor and Industry. (c) Inspection on the state-aid funded portions of this project were performed by personnel certified in accordance with state-aid directives. (d) Work required by this contract was completed in accordance with and pursuant to the terms of this contract. (e) Payment and performance bonds for the full amount of the contract have been provided with aggregate liability of the bond(s) to twice the full amount of the contract.

I certify all costs are reasonable. For finals I accept all work performance as in compliance with the approved plans and specifications.

Approved by: _____
County/City Engineer Date

Approved by: _____
District State Aid Engineer Date

Approved by: _____
State Aid Finance Date



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, AUGUST 9, 2021

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: July 26, 2021

PUBLIC HEARINGS:

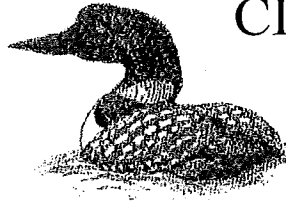
6:01 p.m. Jesse Osborne requesting Preliminary Plat approval of Creekside Farms, a 9 lot Commercial Development located in Sections 7 & 8, and rezoning of parcels of land from R-M (Residential Manufactured Mobile Homes) and R-A (Rural Single Family Residential) to CD-2 (Commercial Development II).

NEW BUSINESS:

1. None

COMMISSION BUSINESS:

1. City Council Update



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, AUGUST 9, 2021

The Ham Lake Planning Commission met for its regular meeting on Monday, August 9, 2021 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Chair Brian Pogalz and Commissioners Dave Ringler, Scott Heaton, Jeff Entsminger, Jonathan Fisher, Kyle Lejonvarn and Erin Dixon

MEMBERS ABSENT: None

OTHERS PRESENT: City Engineer, Tom Collins and Building and Zoning Clerk, Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Ringler, seconded by Entsminger, to approve the minutes of the July 26, 2021 Planning Commission meeting as written. All in favor, motion carried.

PUBLIC HEARING:

Jesse Osborne requesting Preliminary Plat approval of Creekside Farms, a 9 lot Commercial Development located in Sections 7 & 8, and rezoning of parcels of land from R-M (Residential Manufactured Mobile Homes) and R-A (Rural Single Family Residential) to CD-2 (Commercial Development II).

Mr. Jesse Osborne was present. Mr. Osborne stated the development will have a total of nine lots; seven commercial lots that will be for sale and two lots on which Mr. Osborne will construct heated storage units. (There will be a total of ten buildings constructed for heated storage rental.) Mr. Osborne stated the heated storage units are being marketed to owners of high-end recreational vehicles (RV) and other vehicles. Mr. Osborne stated he is concerned about potential RV and large truck traffic on 167th Avenue NE. Mr. Osborne stated he intends to install "No Trucks" signs along 167th Avenue NE and will provide instructions to all heated storage lessees to access the units via Constance Boulevard NE and Buchanan Street NE. Chair Pogalz asked Mr. Osborne what the project timeline was. Mr. Osborne stated dirt will be moved this year, new street construction is projected to be complete in the spring of 2022 and construction of the

buildings should start the second half of 2022 or first half of 2023. Mr. Osborne stated material costs have tripled since he started the project so he is going to wait to see if costs decrease. Mr. Osborne stated he intends to construct the covered RV parking buildings that are part of the Storage World expansion project in the spring or summer of 2022. Commissioner Lejonvarn asked Mr. Osborne how many rental units he will have. Mr. Osborne stated there will be a total of 98 heated storage units available for rent. Commissioner Heaton completed the inspection, a copy which is on file. Commissioner Heaton stated the property is near the Flamingo Terrace mobile home park. Commissioner Heaton stated the development appears to be a good use of the land. Commissioner Heaton stated there will be a large amount of dirt moved between the Storage World expansion project and the Creekside Farms development; Mr. Osborne should try to minimize the impact the dirt movement will have on the residents who live nearby and the surrounding area. Commissioner Heaton referenced the screening plan between the development and the residential property shown in the packet; screening will be provided by six-foot tall slatted, chain link fence in between the buildings on the east side of the development. Commissioner Heaton stated the City Code wasn't clear as to whether or not fencing had to be continuous and making use of the buildings for screening makes sense. Commissioner Lejonvarn asked if any other commercial development had used buildings as part of their screening plan. Engineer Collins stated this scenario is unique as there is a thirty-five (35) foot U.P.A. (a.k.a. Rural Cooperative Power Association and Great River Energy) easement on the east side of the proposed plat; no encroachments are allowed within easement so a fence cannot be placed on the property line. Commissioner Lejonvarn asked what color the buildings would be. Mr. Osborne stated they will have white walls with a black roof; the fence color will match whatever the siding color is. Chair Pogalz asked Engineer Collins to comment on the plat. Engineer Collins stated the sketch plan for the development was reviewed in April of 2020; since that time the development has been reduced to nine lots from eleven lots. Engineer Collins stated the proposed zoning of the plat is CD-2 (Commercial Development II); changing from residential to commercial zoning will require approval by a 4/5 vote of the City Council; heated storage units are permitted as a conditional use under 9-220.3c of the City Code per an email from the City Attorney dated March 4, 2021. Engineer Collins stated water is available to the heated storage units but there are limitations on what type of elements can be permitted within the structures. Mr. Osborne stated no water will be made available within the heated storage units; water will only be available in small, restroom structures, constructed separately from the heated storage units. Commissioner Lejonvarn asked Engineer Collins to comment on the 1,400-foot cul-de-sac on 167th Avenue NE. Engineer Collins stated at the time the plat of Osborne Terrace was created (1961) the existing cul-de-sac was created for future development; with the property to the south of 167th Avenue NE being undeveloped, the property to the west being residential and the property to the east being commercial it is likely more commercial development will be done in the area in the future. Engineer Collins stated the new streets align with the City's thoroughfare plan; at some point the Polk Street NE/Buchanan Street NE alignment will extend to Polk Street NE at 173rd Avenue NE; the plans also include the construction of a six-foot-wide bike lane in both directions along the north/south Buchanan Street NE and Polk Street NE connecting with the bike path that is currently on the west side of Buchanan Street NE between Constance Boulevard NE and 165th Avenue NE. Engineer Collins state he has discussed the potential for commercial truck

traffic on residential streets and how to address it with Mr. Osborne. Engineer Collins stated 36,000 cubic yards of material will be moved from the Storage World expansion project to the Creekside Farms development to build up roads and building pads. Mr. Osborne stated he felt the material could be moved from one location to the other in one to two weeks and felt there would not be any excess material. Engineer Collins stated a lot line adjustment will be done in the westerly portion of the plat for parcel C-2 (1101 165th Avenue NE) and Parcel 07-32-23-44-0001; proof of conveyance of the 1.22-acre Outlot A to the adjacent Parcel C-2 must be provided. Engineer Collins stated soil borings have been done to demonstrate there is adequate area for septic systems within the proposed development and on Parcel C-2; significant grading in the past has been done in the proposed septic areas; per an email from City Attorney Murphy dated March 23, 2020 Section 10-302F of the City Code may apply; the City Council will need to authorize a variance if all information submitted meets the requirements outlined in the City Code. Engineer Collins stated right-of-way will need to be obtained on the north side of 165th Avenue NE from parcel C-2 (1101 165th Avenue NE) as shown in the exhibit included in the packet and ten-foot drainage and utility easements must be dedicated around the perimeter of Parcels B-1, C-2 and D-1. Engineer Collins stated Letters of Map Amendment (LOMA) must be obtained from FEMA for Lot 1, Block 2, Lot 2, Block 2, Lot 3, Block 2, Lot 4, Block 3 and Lot 5, Block 3; the lots will not be eligible for building permits until the LOMA's are approved by FEMA. Engineer Collins stated a license agreement is needed for Lot 2, Block 1, due to the proposed septic system crossing the drainage and utility easement. Engineer Collins questioned why a septic area was shown on Lot 1, Block 2, when water was not going to be provided to heated storage units on that lot. Mr. Osborne stated that water was not being provided for Lot 1, Block 2, and that there was no need for a septic system. Mr. Osborne stated that the heated storage buildings will have a key to the restroom structures on Lot 1, Block 1. Engineer Collins stated the haul route for transferring material from the Storage World site to the Creekside Farms development is directly south/southwest of the proposed RV storage building on the Storage World property. Mr. Osborne stated the haul route is an existing road. Engineer Collins stated Coon Creek Watershed approval has been received and the Minnesota DNR Natural Heritage review found Blanding Turtles in the vicinity of the proposed project.

Chair Pogalz opened the public hearing at 6:28 p.m. and asked for public comment.

Debra Skees, 1209 167th Avenue NE, stated she lives on the parcel along 167th Avenue NE closest to the proposed new development; a property she purchased 40 years ago. Ms. Skees stated she is disquieted to learn the land that has been residential for so many years is going to be converted to commercial property. She is concerned about how the development will affect her property value, the additional traffic and the impact the dirt movement will have on her septic system. Ms. Skees asked what she will see when she looks out her kitchen window when the development is complete and what type of businesses could purchase the commercial lots. Ms. Skees stated the last time a hearing was held for an expansion on the Storage World property they were promised it would be the last expansion of Storage World. Ms. Skees stated residents were promised screening (of mature trees) would be put in place for the previous Storage World project;

the trees put in place are approximately 2' tall after three years. Ms. Skees stated she has a little distrust on this process.

Sue Savarese, 16455 Buchanan Street NE, requested a copy of the development plans. Ms. Savarese stated she was concerned about the water table if water was going to be available in each building. Ms. Savarese asked what development will be on 165th Avenue NE and how far would the street need to be extended and would it be tarred, what the weight restriction on Buchanan Street NE is for trucks, what types of businesses could operate in the development and what type of traffic would they generate, what is the long-range plan for the Polk Street NE and 173rd Avenue NE street extension and what will the next phase of development be in that area.

Cathy Pederson, 1219 167th Avenue NE, stated she has the same concerns as mentioned by Ms. Skees. Ms. Pederson asked what type of traffic is going to be coming down 167th Avenue NE. Chair Pogalz stated it would be passenger car traffic, which can include a pick-up truck pulling a trailer.

Chair Pogalz stated the types of businesses that could operate in the new development are those allowed in the CD-2 zoning district which is an extensive list. Commissioner Dixon referred the residents to the City's website to review allowed uses in the commercial zoning districts and copies of the packet, which included this information, were offered to the residents. Chair Pogalz stated 167th Avenue NE has been constructed to meet residential standards. Engineer Collins confirmed that and stated the proposed streets within the development will be constructed as 9-ton roads meeting commercial development standards; Buchanan Street NE from Constance Boulevard NE to 165th Avenue NE is currently a 9-ton road. Ms. Savarese asked how much of 165th Avenue will be paved. Engineer Collins stated that none of it would be paved. Chair Pogalz stated Ms. Skees will see the back of a building in the development when she looks out of her kitchen window to the west. Mr. Osborne stated there will be approximately 45' between Ms. Skees house and the back of the building. Chair Pogalz stated he is unable to comment on the impact the development may have on property value, the water table should not be affected by this development and he is unable to speculate as to whether or not there will be any impact to Ms. Skees septic system. Mr. Osborne stated he could move the haul route another ten feet to the north if the residents wanted him to. Chair Pogalz stated the type of development that could occur to the north in the future would only be speculation at this point. Chair Pogalz asked Commissioner Heaton to comment on tree cover in the area. Commissioner Heaton stated the trees he saw were not very big but soon they will all be removed and replaced with a fence as the area where the trees are is where the dirt will be hauled from. Ms. Skees requested to see what the fence would look like; a copy of the fence exhibit from the packet was given to her.

Chair Pogalz closed the public hearing at 6:50 p.m.

Motion by Heaton, seconded by Fisher, to recommend approval of the Preliminary Plat, lot line adjustment and rezoning to CD-2 (Commercial Development II) of the plat of Creekside Farms, a 9-lot Commercial Development located in Sections 7 & 8, as presented by Jesse Osborne subject to a variance being approved for soil

disturbance in septic areas per Article 10-302F of the City Code, dedicating ten-foot drainage and utility easements around the perimeter of Parcels B-1, C-2 and D-1, signing a license agreement for Lot 2, Block 1, due to the proposed septic system crossing the drainage and utility easement, dedicating thirty-three feet of right-of-way on the north side of 165th Avenue NE on Parcel C-2 and providing the City with proof of recording of the right-of-way over the southerly thirty-three (33) feet of Parcel C-2, obtaining FEMA Letter of Map Amendments for Lot 1, Block 2, Lot 2, Block 2, Lot 3, Block 2, Lot 4, Block 3 and Lot 5, Block 3, no building permits to be issued on lots requiring LOMA until LOMA on file with the City, providing the City with proof of recording of conveyance of 1.22 acres from Outlot A to the adjacent Parcel B-1 for the lot line adjustment, meeting all the conditions of the City Engineer and meeting at State, City and County requirements. All in favor, motion carried. *This item will be placed on the August 16, 2021 City Council Agenda.*

NEW BUSINESS: None

COMMISSION BUSINESS:

City Council Update

Chair Pogalz attended the August 2, 2021 City Council meeting. Chair Pogalz stated the City Council had some conversation with the property owner about activity at the location and previous complaints. Chair Pogalz stated everyone agreed that progress is being made with work yet to be done; the Conditional Use P ermit recommendation made by the Planning Commission was approved. Commissioner Dixson will attend the August 16, 2021 City Council meeting.

ADJOURNMENT:

Motion by Heaton, seconded by Fisher, to adjourn the Planning Commission meeting at 6:55 p.m. All in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 3-31-2021

Date of Receipt _____

Receipt # _____

Meeting Appearance Dates:

Planning Commission 8-9-21

City Council 8-16-21

Please check request(s):

Metes & Bounds Conveyance

Commercial Building Permit

Sketch Plan

Certificate of Occupancy

Preliminary Plat Approval*

Home Occupation Permit

Final Plat Approval

Conditional Use Permit (New)*

Rezoning*

Conditional Use Permit (Renewal)

Private Kennel License*

Other LOT LINE ADJUSTMENT

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: CREEKSIDE FARMS DEVELOPMENT

Address/Location of property: NORTH OF 165TH AVE; LYING BETWEEN N. EXTENSIONS OF BUCHANAN POLICE AND

Legal Description of property: (PART OF SECTION 7+8, T.32, R.23) ATTACHED SEE

-32-23-33-0005; PART OF: 08-32-23-32-0002

PIN # PART OF: 08-32-23-33-0004 Current Zoning R-M Proposed Zoning CD-2 LEGAL.

D PART OF: 07-32-23-44-0001

Notes: 1 standard comm. lots + 2 heated storage lots

Applicant's Name: JESSE OSBORNE

Business Name: CSF DEVELOPMENT, L.L.C.

Address 16800 HIGHWAY 65

City HAM LAKE State MN Zip Code 55304

Phone _____ Cell Phone 651-403-0782 Fax _____

Email address jesse@storageworldmn.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 3-31-21

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission 8-9-21
City Council _____

PROPERTY TAXES CURRENT (YES) NO



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

REVISED PUBLIC HEARING NOTICE

NOTICE OF PUBLIC HEARING
CITY OF HAM LAKE
COUNTY OF ANOKA
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, August 9, 2021 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Jesse Osborne requesting preliminary plat approval and rezoning of parcels of land from R-M (Residential Manufactured Mobile Homes) and R-A (Rural Single Family Residential) to CD-2 (Commercial Development II) of Creekside Farms (9 commercial lots) in Sections 7 and 8 parcels of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

PARCEL A (PID: 08-32-23-33-0005):

The Southwest Quarter of the Southwest Quarter of Section 8, Township 32, Range 23, Anoka County, Minnesota, EXCEPT the South 730 feet of the West 800 feet thereof.

PARCEL B-2 (PART OF PID: 08-32-23-32-0002):

That part of the Northwest Quarter of the Southwest Quarter of Section 8, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at the Northeast corner of the said Northwest Quarter of the Southwest Quarter; thence South 00 degrees 08 minutes 57 seconds West, assumed bearing, along the East line of said Northwest Quarter of the Southwest Quarter, a distance of 255.43 feet; thence North 89 degrees 30 minutes 01 seconds West, a distance of 551.76 feet; thence South 01 degrees 45 minutes 07 seconds West, a distance of 381.90 feet; thence South 78 degrees 41 minutes 27 seconds West, 364.11 feet; thence South 16 degrees 46 minutes 04 seconds East, a distance of 363.68 feet to the point of beginning of the parcel to be described; thence North 89 degrees 09 minutes 19 seconds East, a distance of 813.58 to the East line of said Northwest Quarter of the Southwest Quarter; thence South 00 degrees 08 minutes 57 seconds West, along said East line of the Northwest Quarter of the Southwest Quarter, a distance of 283.72 feet to the Southeast corner of said Northwest Quarter of the Southwest Quarter; thence South 88 degrees 49 minutes 45 seconds West, along the South line of the Northwest Quarter of the Southwest Quarter, a distance of 959.77 feet; thence North 00 degrees 00 minutes 00 seconds East 5.82 feet; thence northwesterly a distance of 220.82 feet along a tangential curve concave to the southwest, said curve having a radius of 279.00 feet and a central angle of 45 degrees 20 minutes 52 seconds; thence

northwesterly a distance of 95.15 feet along a reverse curve concave to the northeast said curve having a radius of 345.00 feet and a central angle of 15 degrees 48 minutes 08 seconds; thence northwesterly, easterly, and southeasterly, a distance of 306.85 feet on a non-tangential curve concave to the southeast, having a radius of 60.00 feet, a central angle of 293 degrees 01 minutes 14 seconds and a chord bearing of North 64 degrees 36 minutes 05 seconds East; thence southeasterly a distance of 23.64 feet on a non-tangential curve concave to the northeast, having a radius of 279.00 feet, a central angle of 04 degrees 51 minutes 15 seconds and a chord bearing of South 32 degrees 57 minutes 22 seconds East; thence North 89 degrees 09 minutes 19 seconds East, a distance of 214.75 to the point of beginning.

PARCEL C-1 (PART OF PID: 08-32-23-33-0004):

That part of the Southwest Quarter of the Southwest Quarter, Section 8, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at the Southwest corner of said Southwest Quarter of the Southwest Quarter; thence North 88 degrees 43 minutes 06 seconds East, assumed bearing along the South Line of said Southwest Quarter of the Southwest Quarter, a distance of 500.00 feet; thence North 34 degrees 45 minutes 08 seconds West, a distance of 222.76 feet to the point of beginning of the parcel to be described; thence continuing North 34 degrees 45 minutes 08 seconds West, a distance of 652.11 feet to a point on the West line of said Southwest Quarter of the Southwest Quarter distant 730.00 feet northerly from said Southwest corner; thence Easterly, parallel with said South line, a distance of 800.00 feet; thence Southerly, parallel with said West line, a distance of 499.18 feet; thence North 38 degrees 26 minutes 35 seconds West, a distance of 201.56 feet; thence South 61 degrees 51 minutes 21 seconds West, a distance of 108.61 feet; thence South 51 degrees 59 minutes 23 seconds West, a distance of 261.69 feet to the point of beginning.

PARCEL D-2 (PART OF PID: 07-32-23-44-0001):

That part of the Southeast Quarter of the Southeast Quarter of Section 7, Township 32, Range 23, Anoka County, Minnesota, lying northerly and easterly of the following described line: Beginning at a point on the North line of said Southeast Quarter of the Southeast Quarter, distant 312.70 West of the Northeast corner thereof; thence southeasterly to a point on the East line of said Southeast Quarter of the Southeast Quarter, distant 730 feet north of the Southeast corner thereof and said line there terminating.

At such hearing both written and oral comments will be heard.

DATED: July 30, 2021

Jennifer Bohr
Zoning Official/Building Clerk
City of Ham Lake

5.0 PLANNING COMMISSION RECOMMENDATIONS

5.1 Jesse Osborne requesting Sketch Plan approval for Creekside Farms, a 13 lot Commercial Development located in Section 8

Acting Mayor Johnson read to the applicant, Jesse Osborne, the conditions recommended by the Planning Commission. Mr. Osborne stated that he understood the conditions. There was discussion that the extension of Buchanan Street NE is part of the thoroughfare plan, which has a future connection from Buchanan Street NE at 165th Avenue NE to Polk Street NE at 173rd Avenue NE. There was discussion that there would need to be a 4/5 vote of the City Council to rezone the property and the Council didn't feel that would be a problem. **Motion by Johnson, seconded by Doyle, to concur with the Planning Commission and approve the Sketch Plan presented by Jesse Osborne for Creekside Farms, a 13 lot Commercial Development located in Section 8 subject to a 4/5 vote of Council for zoning change from residential to commercial (CD-2), posting of signs regulating traffic types and speed on 167th Avenue NE, modifying the lots lines for Lot 2, Block 3, submission of a screening plan to include screening on the easterly border of the subdivision, submission of soil borings to determine if soils have been disturbed or compacted, receipt of a diagram of the haul route to be used for excavation from the Storage World property to the Creekside Farms subdivision, obtaining Conditional Use Permits for parcels with heated storage units per Article 9-220-3(c), meeting the requirements of the City Engineer as noted in the March 19, 2020 memo for Creekside Farms Sketch Plan and meeting all City, State and County requirements. All present in favor, motion carried.**

5.2 Jesse Osborne requesting Commercial Site Plan approval to construct a 40,000 square foot building located at 16800 Highway 65 NE (PIN# 08-32-23-31-0019)

Acting Mayor Johnson read to the applicant, Jesse Osborne, the conditions recommended by the Planning Commission. Mr. Osborne stated that he understood the conditions. Engineer Collins stated that one of the conditions listed states final plat approval, but the work can actually begin at preliminary plat approval. **Motion by Johnson, seconded by Kirkham, to concur with the Planning Commission and approve the Commercial Site Plan to construct a 40,000 square foot building located at 16800 Highway 65 NE (PIN# 08-32-23-31-0019) as presented by Jesse Osborne subject to a 4/5 vote of the City Council for rezoning the entire parcel to CD-1, preliminary plat approval of the Creekside Farms Commercial Development, amending the Storage World Conditional Use Permit originally issued in 2015, providing the City with of a diagram of the haul route to be used for excavation from the Storage World property to the Creekside Farms subdivision, providing proof of recording of the easement from the 2015 drainage and utility easement from the 2015 Storage World-Flamingo Terrace project, submission of a screening plan to include a fence on south end of the Storage World property near residential parcels in Osborne Terrace, meeting the requirements of the City Engineer as noted in the March 19, 2020 Storage World memo and meeting all City, State and County requirements. All present in favor, motion carried.**

6.0 PARK AND TREE COMMISSION RECOMMENDATIONS – None

7.0 ECONOMIC DEVELOPMENT AUTHORITY – None

8.0 APPEARANCES – None

9.0 CITY ATTORNEY – None

10.0 CITY ENGINEER – None

11.0 CITY ADMINISTRATOR – None

ORDINANCE NO. 21-XX

AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated CD-2 (Commercial Development II)

PARCEL A (PID: 08-32-23-33-0005):

The Southwest Quarter of the Southwest Quarter of Section 8, Township 32, Range 23, Anoka County, Minnesota, EXCEPT the South 730 feet of the West 800 feet thereof.

PARCEL B-2 (PART OF PID: 08-32-23-32-0002):

That part of the Northwest Quarter of the Southwest Quarter of Section 8, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at the Northeast corner of the said Northwest Quarter of the Southwest Quarter; thence South 00 degrees 08 minutes 57 seconds West, assumed bearing, along the East line of said Northwest Quarter of the Southwest Quarter, a distance of 255.43 feet; thence North 89 degrees 30 minutes 01 seconds West, a distance of 551.76 feet; thence South 01 degrees 45 minutes 07 seconds West, a distance of 381.90 feet; thence South 78 degrees 41 minutes 27 seconds West, 364.11 feet; thence South 16 degrees 46 minutes 04 seconds East, a distance of 363.68 feet to the point of beginning of the parcel to be described; thence North 89 degrees 09 minutes 19 seconds East, a distance of 813.58 to the East line of said Northwest Quarter of the Southwest Quarter; thence South 00 degrees 08 minutes 57 seconds West, along said East line of the Northwest Quarter of the Southwest Quarter, a distance of 283.72 feet to the Southeast corner of said Northwest Quarter of the Southwest Quarter; thence South 88 degrees 49 minutes 45 seconds West, along the South line of the Northwest Quarter of the Southwest Quarter, a distance of 959.77 feet; thence North 00 degrees 00 minutes 00 seconds East 5.82 feet; thence northwesterly a distance of 220.82 feet along a tangential curve concave to the southwest, said curve having a radius of 279.00 feet and a central angle of 45 degrees 20 minutes 52 seconds; thence northwesterly a distance of 95.15 feet along a reverse curve concave to the northeast said curve having a radius of 345.00 feet and a central angle of 15 degrees 48 minutes 08 seconds; thence northwesterly, easterly, and southeasterly, a distance of 306.85 feet on a non-tangential curve concave to the southeast, having a radius of 60.00 feet, a central angle of 293 degrees 01 minutes 14 seconds and a chord bearing of North 64 degrees 36 minutes 05 seconds East; thence southeasterly a distance of 23.64 feet on a non-tangential curve concave to the northeast, having a radius of 279.00 feet, a central angle of 04 degrees 51 minutes 15 seconds and a chord bearing of South 32 degrees 57 minutes 22 seconds East; thence North 89 degrees 09 minutes 19 seconds East, a distance of 214.75 to the point of beginning.

PARCEL C-1 (PART OF PID: 08-32-23-33-0004):

That part of the Southwest Quarter of the Southwest Quarter, Section 8, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at the Southwest corner of said Southwest Quarter of the Southwest Quarter; thence North 88 degrees 43 minutes 06 seconds East, assumed bearing along the South Line of said Southwest Quarter of the Southwest Quarter, a distance of 500.00 feet; thence North 34 degrees 45 minutes 08 seconds West, a distance of 222.76 feet to the point of beginning of the parcel to be described; thence continuing North 34 degrees 45 minutes 08 seconds West, a distance of 652.11 feet to a point on the West line of said Southwest Quarter of the Southwest Quarter distant 730.00 feet northerly from said Southwest corner; thence Easterly, parallel with said South line, a distance of 800.00 feet; thence Southerly, parallel with said West line, a distance of 499.18 feet; thence North 38 degrees 26 minutes 35 seconds West, a distance of 201.56 feet; thence South 61 degrees 51 minutes 21 seconds West, a distance of 108.61 feet; thence South 51 degrees 59 minutes 23 seconds West, a distance of 261.69 feet to the point of beginning.

PARCEL D-2 (PART OF PID: 07-32-23-44-0001):

That part of the Southeast Quarter of the Southeast Quarter of Section 7, Township 32, Range 23, Anoka County, Minnesota, lying northerly and easterly of the following described line: Beginning at a point on the North line of said Southeast Quarter of the Southeast Quarter, distant 312.70 West of the Northeast corner thereof; thence southeasterly to a point on the East line of said Southeast Quarter if the Southeast Quarter, distant 730 feet north of the Southeast corner thereof and said line there terminating.

Presented to the Ham Lake City Council on August 16, 2021 and adopted by a unanimous vote this _____ day of _____, 2021.

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk



Memorandum

Date: August 3, 2021
To: Planning Commissioners
From: Tom Collins, City Engineer *TPC*
Subject: Creekside Farms – Preliminary Plat and Lot Line Adjustment

Introduction:

The Title Sheet, Preliminary Plat, Livability Plan, Overall Site Plan, Existing Conditions and Demolition Plan, Preliminary Street & Storm Sewer Plan, Preliminary Grading & Tree Protection Plan, Preliminary Erosion Control Plan, Preliminary Typical Sections and Details, Preliminary Flood Plain Impact, Preliminary Flood Plain Mitigation and Stormwater Calculations were received July 22nd, the Buchanan Street Profile and Piezometer Water Level Summary were received May 14th and the ITCO Allied Engineering Company Report of Geotechnical Exploration and the Haugo Geotechnical Report were received March 31st for the proposed 9 lots commercial development located on 42.85 acre combined area of parcel 08-32-23-33-0005 and portions of parcels 07-32-23-44-0001, 08-32-23-32-0002 and 08-32-23-33-0004. The parcels are currently zoned both Rural Single Family Residential (R-A) and Residential Manufactured Mobile Home (R-M), and are proposed to be zoned Commercial Development Tier 2 (CD-2), per the attached 600 scale Zoning Map. Per the League of Minnesota Cities, a 4/5 vote by the City Council is required to change the zoning from residential to commercial. All of the prior review comments have been addressed.

Discussion:

The Developer is proposing seven standard commercial lots and two heated storage lots (Lot 1, Block 1 and Lot 1, Block 2. Lot 1, Block 1 has six heated storage units with two separate bathrooms. Per the Building Official, water is allowed within the heated storage units. The allowance of heated storage lots is a conditional use under 9-220.3c of City Code, per the attached March 4th email response from the City Attorney.

The extension of Buchanan Street is in compliance with the future street thoroughfare, per the attached Future Roadway Classification exhibit, which has a future connection to Polk Street at 173rd Avenue. The entire Buchanan Street/Polk Street connection from Constance Boulevard to Crosstown Boulevard is designated as a Municipal State Aid (MSA) route, and the proposed design meets Minnesota Department of Transportation municipal state aid standards.

The Plans include a street connection from proposed Buchanan Street to existing 167th Avenue. The northerly 33 feet of 167th Avenue right-of-way was dedicated with the 1961 plat of Osborne Terrace (attached) for 10 single family residentially zoned lots. 167th Avenue has the structural capacity of a residential street, rather than commercial. The length of 167th Avenue from Highway 65 to the existing cul-de-sac is approximately 1,400 feet, which exceeds the 1,100-foot maximum length allowed by the City since January 1982 (Ordinance 82-1).

The Creekside Farms site is short on material, and intends on utilizing excess material from the proposed Storage World expansion to the east. Per correspondence with the engineer for Storage World, approximately 36,000 cubic yards of excavated material from the adjacent Storage World project will be brought onto the Creekside Farms Commercial Development site to build up the roads and building pads.

Septic borings have been submitted that demonstrate that there is adequate area for a secondary septic system for Parcel C-2. There was significant grading completed in the past within proposed septic areas. 10-302F of City Code (attached) allows for an exemption to soils conditions if the soils were disturbed or compacted by activities which pre-dated the subdivision application. Per the attached March 23, 2020 City Attorney email, section 10-302F may apply, and it is incumbent on the developer to show that the soils have been so disturbed or compacted. Per the Code,

the City Council may waive the requirement that the ISTS be constructed on Undisturbed Soils, and may allow the usage of "Other Systems". Where "Other" systems are so permitted, it shall be the obligation of the lot owner to provide actual field designs for each such proposed system, prepared by a qualified ISTS designer, prior to obtaining a building permit. The design standards shall be as directed by the City's Building Official. Where an "Other" system is allowed, upon recommendation of the City's Building Official, the design must include the concept of "time-dosing", meaning a periodic distribution of effluent which is electronically controlled.

Per the attached July 22nd email from the applicant, the site has been clear cut for lumber, mined for fill and the soil has been worked and regraded on many occasions. The July 7th Tradewell Soil Testing letter also references soil disturbance from prior activities. To authorize a variance the City Council must be able to justify their decision with findings and be convinced that the following requirements are met:

- a) There is an unusual physical hardship to the land that would prevent the reasonable usage of the land without a variance, and all the conditions of sub-paragraph b), c) and d) below are met.
- b) The variance is in harmony with the general purpose and intent of the Code and is consistent with the Comprehensive Plan.
- c) The plight of the landowner is due to circumstances unique to the property not created by the landowner; and
- d) The variance, if granted, will not alter the essential character of the locality.

Proof of recording the right-of-way over the southerly 33-feet of Parcel C-2 (1101 165th Avenue) needs to be supplied, per the attached Sketch and Description. Proof of recording the 10-foot perimeter drainage and utility easements around Parcel B-1, Parcel C-2 and Parcel D-1 needs to be supplied and proof of conveyance of 1.22-acre Outlot A to the adjacent Parcel B-1 needs to be supplied, per the attached Lot Line Adjustment. The Development Agreement will condition that no building permits be received until proof of recordings and conveyance are received.

The Coon Creek Watershed District conditionally approved the development at the June 14th Board of Managers meeting, per the attached June 15th Notice of Permit Application Status. The

Minnesota DNR Natural Heritage review for potential impacts to state-listed species and other rare features found that Blanding's turtles have been reported in the vicinity of the proposed project and may be encountered on site. If during construction Blanding's turtles are encountered the contractor is to move them by hand out of harm's way. Otherwise, the turtles are to be left undisturbed.

Per the attached 400-scale half-section map, there is a U.P.A. (aka Rural Cooperative Power Association and Great Rivers Energy) easement over the easterly 35-feet of the proposed plat. Great River Energy has approved grading and improvements within their easement, per the attached June 29th email.

The entire Buchanan Street/Polk Street connection from Constance Boulevard to Crosstown Boulevard is identified as a future bike lane/path on the attached Proposed Municipal Bike Trail System exhibit. A bike path was constructed on the west side of Buchanan Street from Constance Boulevard to 165th Avenue in 2004. The plans include construction of 6-foot-wide bike lanes in each direction.

A FEMA Letter of Map Amendment is required for Lot 1, Block 1, Lot 2, Block 2, Lot 3, Block 2, Lot 4, Block 3 and Lot 5, Block 3. The Development Agreement will stipulate that these lots are not eligible for a building permit until the Letter of Map Amendment is approved by FEMA. A License Agreement will be required for the Lot 2, Block 1 septic crossing the drainage and utility easement. The License Agreement will be covered in the Development Agreement. The ITCO Allied Engineering Company Report of Geotechnical Exploration, the Haugo Geotechnical Exploration Report and the Piezometer Water Level Summary address prior review comments.

The March 23, 2020 Planning Commission meeting minutes are attached. The City Council approved the Planning Commission recommendations for the Creekside Farms sketch plan, which were:

to recommend approval of the Sketch Plan presented by Jesse Osborne for Creekside Farms, a 13 lot Commercial Development located in Section 8 subject to a 4/5 vote of Council for zoning change from residential to commercial (CD-2), posting of signs regulating traffic types and speed on 167th Avenue NE, modifying the lots lines for Lot 2, Block 3, submission of a screening plan to include screening on the easterly border of the subdivision, submission of soil borings to determine if soils have been disturbed or compacted, receipt of a diagram of the haul route to be used for excavation from the Storage World property to the Creekside Farms subdivision, obtaining Conditional Use Permits for parcels with heated storage units per Article 9-220-3(c), meeting the requirements of the City Engineer as noted in the March 19, 2020 memo for Creekside Farms Sketch Plan and meeting all City, State and County requirements.

The City Council also approved the Planning Commission recommendations for the adjacent 40,000 square foot Storage World building for covered RV and boat storage, which were:

to recommend approval of the Commercial Site Plan to construct a 40,000 square foot building located at 16800 Highway 65 NE (PIN# 08-32-23-31-0019) as presented by Jesse Osborne subject to rezoning the entire parcel to CD-1, final plat approval of the Creekside Farms Commercial Development, amending the Storage World Conditional Use Permit originally issued in 2015, providing the City with a diagram of the haul route

to be used for excavation from the Storage World property to the Creekside Farms subdivision, providing proof of recording of the easement from the 2015 drainage and utility easement from the 2015 Storage World-Flamingo Terrace project, submission of a screening plan to include a fence on south end of the Storage World property near residential parcels in Osborne Terrace, meeting the requirements of the City Engineer as noted in the March 19, 2020 Storage World memo and meeting all City, State and County requirements.

Per discussions with the Developer, *No Truck* signage will be placed to the west of the proposed connection to 167th Avenue. The attached Creekside Farms Screening exhibit proposes a combination of 6-foot-tall colored slatted privacy fence and 10-foot spaced pine trees for screening along the east side of Creekside Farms. The screening is located outside of the 35-foot wide Great River Energy easement. The attached Storage World Screening exhibit proposed a 6-foot-tall colored slatted privacy fence along the west, south and east portions of Storage World that are currently not fenced. This exhibit also shows the proposed haul route between Storage World and Creekside Farms for hauling the excess Storage World material to Creekside Farms.

Recommendations:

It is recommended that the Preliminary Plat of Creekside Farms, including the rezoning from Rural Single Family Residential and Residential Manufactured Mobile Home to Commercial Development Tier 2, and the Lot Line Adjustment be recommended for approval to the City Council and that a variance be approved for the 10-302F Exception to Soils Conditions.

PROJECT: CREEKSIDE FARMS DEVELOPMENT

E. G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

Larson Engineering, Inc.
110 W. St. Germain Street
Suite 309 Lino Lakes, MN 55011
3007241414
www.larsoneng.com
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JESSE OSBORNE, CSF DEVELOPMENT, LLC
16800 HWY. 65 NE
HAM LAKE, MN 55304

CREEKSIDE FARMS DEVELOPMENT
HAM LAKE, MN. 55304

- BLANDING'S TURTLE**
1. The unique and rare Blanding's turtle has been found in this area. Blanding's turtle are state-listed as threatened and are protected under Minnesota Statute 84.095, Protection of Threatened and Endangered Species.
 2. See the Blanding's turtle specification section for more info on the Blanding's turtle along with the Blanding's turtle Notice that must be posted on-site during construction.

JESSE OSBORNE CSF DEVELOPMENT, LLC

16800 HIGHWAY 65 NE
HAM LAKE, MN 55304

INDEX OF DRAWINGS

T	Title Sheet
S100	Preliminary Plat
S200	Livability Plan
C000	Overall Site Plan
C100	Existing Conditions and Demolition Plan - South
C101	Existing Conditions and Demolition Plan - NE
C102	Existing Conditions and Demolition Plan - NW
C200	Preliminary Street and Storm Sewer Plan - South
C201	Preliminary Street and Storm Sewer Plan - NE
C202	Preliminary Street and Storm Sewer Plan - NW
C300	Preliminary Grading Plan - South
C301	Preliminary Grading Plan - NE
C302	Preliminary Grading Plan - NW
C400	Preliminary Erosion Control Plan - South
C401	Preliminary Erosion Control Plan - NE
C402	Preliminary Erosion Control Plan - NW
C500	Preliminary Typical Sections and Details
C501	Preliminary Typical Sections and Details
C502	Preliminary Typical Sections and Details
C600	Preliminary Flood Plain Impact
C601	Preliminary Flood Plain Mitigation

PROJECT CONTACTS

Civil Engineer:
Thomas Herkenoff, P.E.
Larson Engineering, Inc.
3524 Labore Road
White Bear Lake, MN 55110
Tel: 651.481.9120
Fax: 651.481.9201

Land Surveyor:
Jason Rud, P.S.
E. G. Rud & Sons, Inc.
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel: 651.361.8200
Fax: 651.361.8701

VICINITY MAP



PRELIMINARY NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenoff, P.E.
Thomas J. Herkenoff, P.E.
Date: 07.28.21 Lic. No.: 29329

Rev.	Date	Description

Project #: 12210011.000
Drawn By: TJR
Checked By: TJR
Issue Date: 07.28.2021
Sheet Title:

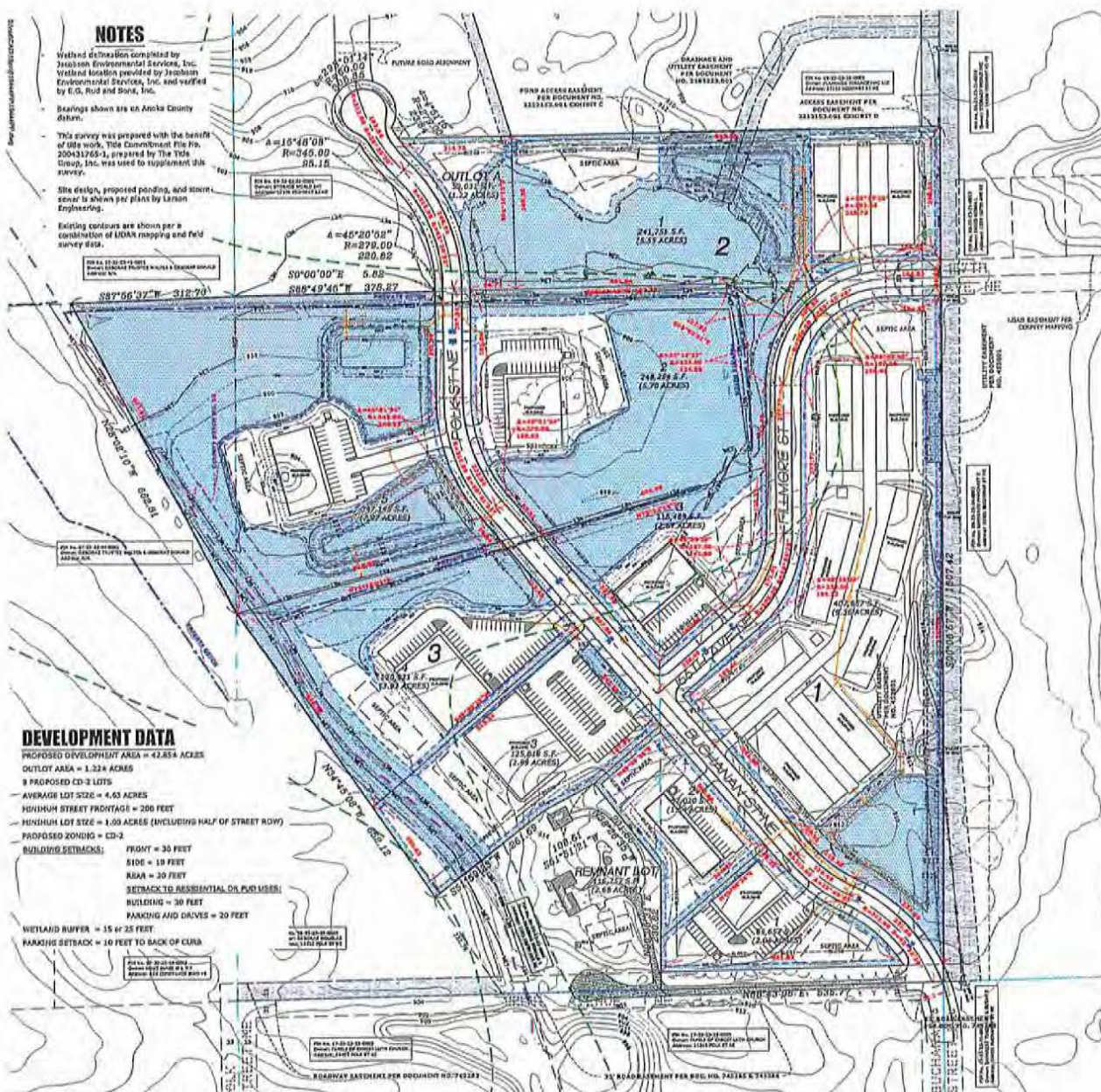
TITLE SHEET

Sheet:
T



NOTES

- Wetland delineation completed by Jacobson Environmental Services, Inc. Wetland location provided by Jacobson Environmental Services, Inc. and verified by E.G. Rud and Sons, Inc.
- Bearings shown are on Anoka County datum.
- This survey was prepared with the benefit of site work. The Commission File No. 200431769-1, prepared by The Yolo Group, Inc. was used to supplement this survey.
- Site design, proposed ponding, and storm sewer is shown per plans by Larson Engineering.
- Existing contours are shown per a combination of LIDAR mapping and field survey data.



DEVELOPMENT DATA

- PROPOSED DEVELOPMENT AREA = 42.854 ACRES
- OUTLET AREA = 1.234 ACRES
- 9 PROPOSED CD-2 LOTS
- AVERAGE LOT SIZE = 4.73 ACRES
- MINIMUM STREET FRONTAGE = 200 FEET
- MINIMUM LOT SIZE = 1.00 ACRE (INCLUDING HALF OF STREET ROW)
- PROPOSED ZONING = CD-2
- BUILDING SETBACKS:**
 - FRONT = 30 FEET
 - SIDE = 10 FEET
 - REAR = 30 FEET
 - SETBACK TO RESIDENTIAL OR PUBLIC USES:
 - BUILDING = 30 FEET
 - PARKING AND DRIVES = 20 FEET
- WETLAND BUFFER = 15 or 25 FEET
- PARKING SETBACK = 10 FEET TO BACK OF CURB

PROPOSED LEGAL DESCRIPTION

PARCEL A (PART OF PID: 08-32-33-0083)
The Southwest Quarter of the Southwest Quarter of Section 8, Township 32, Range 23, Anoka County, Minnesota, EXCEPT the South 770 feet of the West 800 feet thereof.

PARCEL B-2 (PART OF PID: 08-32-33-0083)
That part of the Northwest Quarter of the Southwest Quarter of Section 8, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at the Northeast corner of the said Northwest Quarter of the Southwest Quarter; thence South 20 degrees 09 minutes 57 seconds West, assumed bearing, along the East line of said Southwest Quarter of the Southwest Quarter, a distance of 235.43 feet; thence North 89 degrees 30 minutes 01 seconds East, a distance of 531.76 feet; thence South 01 degree 43 minutes 07 seconds West, a distance of 181.00 feet; thence South 10 degrees 41 minutes 37 seconds West, 364.11 feet; thence South 10 degrees 46 minutes 04 seconds East, a distance of 363.63 feet to the point of beginning of the parcel to be described; thence North 89 degrees 09 minutes 10 seconds East, a distance of 833.50 feet to the East line of said Northwest Quarter of the Southwest Quarter; thence South 02 degrees 03 minutes 27 seconds West, along said East line of the Northwest Quarter of the Southwest Quarter, a distance of 283.73 feet to the Southeast corner of said Northwest Quarter of the Southwest Quarter; thence South 88 degrees 48 minutes 45 seconds West, along the South line of the Northwest Quarter of the Southwest Quarter, a distance of 959.77 feet; thence North 00 degrees 00 minutes 00 seconds East 3.82 feet; thence northwesterly a distance of 220.82 feet along a tangential curve concave to the northwest, said curve having a radius of 270.00 feet and a central angle of 45 degrees 20 minutes 32 seconds; thence northwesterly a distance of 95.33 feet along a reverse curve concave to the northeast said curve having a radius of 345.00 feet and a central angle of 15 degrees 48 minutes 08 seconds; thence northwesterly, easterly, and southeasterly, a distance of 208.81 feet on a non-tangential curve concave to the southeast, having a radius of 60.00 feet, a central angle of 292 degrees 01 minutes 14 seconds and a chord bearing of North 64 degrees 26 minutes 05 seconds East; thence southeasterly a distance of 33.64 feet on a non-tangential curve concave to the northeast, having a radius of 270.00 feet, a central angle of 04 degrees 51 minutes 15 seconds and a chord bearing of South 32 degrees 57 minutes 22 seconds East; thence North 89 degrees 09 minutes 19 seconds East, a distance of 214.75 feet to the point of beginning.

PARCEL C-1 (PART OF PID: 08-32-33-0083)
That part of the Southwest Quarter of the Southwest Quarter, Section 8, Township 32, Range 23, Anoka County, Minnesota, described as follows:

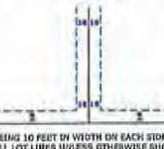
Commencing at the Southwest corner of said Southwest Quarter of the Southwest Quarter; thence North 88 degrees 43 minutes 06 seconds East, assumed bearing, along the South line of said Southwest Quarter of the Southwest Quarter, a distance of 150.00 feet; thence North 34 degrees 45 minutes 08 seconds West, a distance of 322.78 feet to the point of beginning of the parcel to be described; thence continuing North 34 degrees 45 minutes 08 seconds West, a distance of 651.11 feet to a point on the West line of said Southwest Quarter of the Southwest Quarter; thence North 73 degrees 00 feet easterly from said Southwest corner; thence easterly, parallel with said South line, a distance of 800.00 feet; thence southerly, parallel with said West line, a distance of 159.18 feet; thence North 38 degrees 26 minutes 30 seconds West, a distance of 301.38 feet; thence South 81 degrees 51 minutes 21 seconds West, a distance of 108.01 feet; thence South 81 degrees 51 minutes 21 seconds West, a distance of 284.66 feet to the point of beginning.

PARCEL D-2 (PART OF PID: 07-32-33-44-0083)
That part of the Southeast Quarter of the Southwest Quarter of Section 7, Township 32, Range 23, Anoka County, Minnesota, lying northerly and easterly of the following described line:

Beginning at a point on the North line of said Southeast Quarter of the Southwest Quarter, distant 312.70 feet West of the Northeast corner thereof; thence southeasterly to a point on the East line of said Southwest Quarter of the Southwest Quarter, distant 770 feet north of the Southwest corner thereof and said line there terminating.

EASEMENT DETAIL

(NOT TO SCALE)



BENCHMARK

PIEDMONT MARK 0208 T
GSD STATION: # 368
ELEVATION: 911.425 (NAVD83)

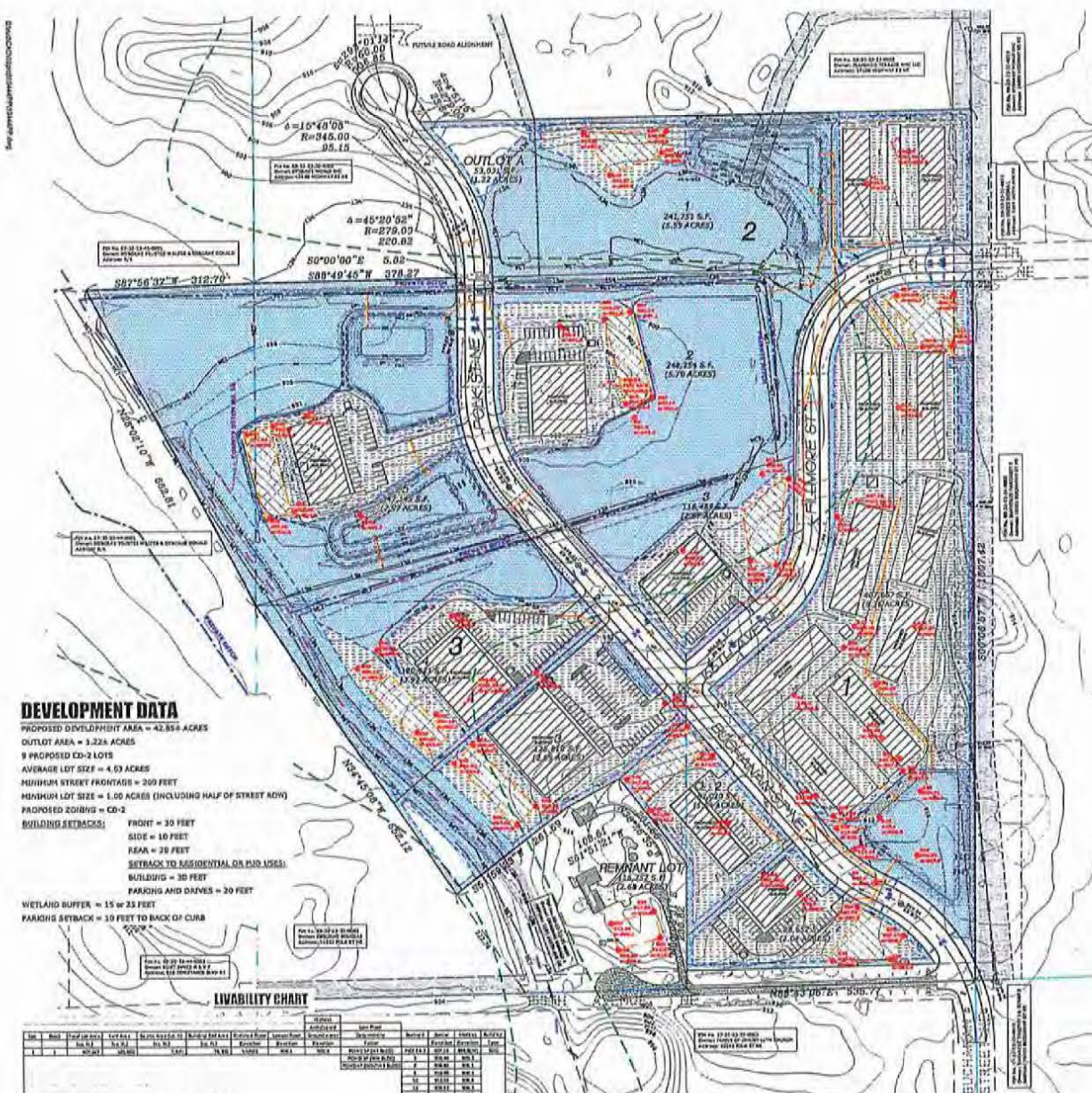
LEGEND

- INDICATES CITY WATER
- INDICATES POWER POLE
- INDICATES EXISTING CONTOURS
- INDICATES OVERHEAD WIRE
- INDICATES PROPOSED STORM SEWER
- INDICATES COUNTY DITCH NO. 58
- INDICATES PRIVATE DITCH
- INDICATES FEMA FLOOD ZONE TYPE 'A'
- PER FEMA FLOOD INSURANCE RATE MAP
- INDICATES PROPOSED EASEMENT
- INDICATES EXISTING EASEMENT
- INDICATES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-0200 Fax (651) 361-0701

PRELIMINARY NOT FOR CONSTRUCTION

<p>\$100</p> <p>PRELIMINARY PLAN</p>	<p>Project Title:</p> <p>CREEKSIDE FARMS DEVELOPMENT</p> <p>HAM LAKE, MN. 55304</p>	<p>Client:</p> <p>JESSE OSBORNE, CSF DEVELOPMENT, LLC</p> <p>16800 HWY. 65 NE HAM LAKE, MN 55304</p>	<p>Engineer:</p> <p>Larson Engineering, Inc.</p> <p>816 W. St. Germain Street Suite 308 St. Cloud, MN 56301 320.774.1544 www.larsoneng.com</p>
	<p>©2015 Larson Engineering, Inc. All Rights Reserved.</p>		



DEVELOPMENT DATA
 PROPOSED DEVELOPMENT AREA = 42.85± ACRES
 OUTLOT AREA = 1.22± ACRES
 9 PROPOSED CO-2 LOTS
 AVERAGE LOT SIZE = 4.63 ACRES
 MINIMUM STREET FRONTAGE = 200 FEET
 MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)
 PROPOSED ZONING = CO-2
BUILDING SETBACKS:
 FRONT = 30 FEET
 SIDE = 10 FEET
 REAR = 20 FEET
 SETBACK TO RESIDENTIAL OR PUD USES:
 BUILDINGS = 30 FEET
 PARKING AND DRIVES = 20 FEET
WETLAND BUFFER = 15 or 25 FEET
PARKING SETBACK = 10 FEET TO BACK OF CURB

LIVABILITY CHART

Lot No.	Area (Acres)	Front (Feet)	Side (Feet)	Rear (Feet)	Setback (Feet)	Notes
1	1.22	200	10	20	30	Outlot A
2	5.79	200	10	20	30	Area 2
3	5.79	200	10	20	30	Area 3
4	4.63	200	10	20	30	Lot 4
5	4.63	200	10	20	30	Lot 5
6	4.63	200	10	20	30	Lot 6
7	4.63	200	10	20	30	Lot 7
8	4.63	200	10	20	30	Lot 8
9	4.63	200	10	20	30	Lot 9
10	1.22	200	10	20	30	Remnant Lot

NOTES

- Wetland delineation completed by Jacobson Environmental Services, Inc. Wetland location provided by Jacobson Environmental Services, Inc. and verified by E.G. Rud and Sons, Inc.
- Bearings shown are an Anoka County datum.
- This survey was prepared with the benefit of this work. This Commission File No. 20643765-1, prepared by The Tels Group, Inc. was used to supplement this survey.
- Site design, proposed pending, and sewer is shown per plans by Larson Engineering.
- Existing contours are shown per a combination of LDM mapping and field survey data.
- Surveyed premises shown on this survey map is in Flood Zone X (Area determined to be outside the 0.2% annual chance floodplain), and Flood Zone A, according to Flood Insurance Rate Map Community No. 270674 Panel No. 0215 Shuffe II by the Federal Emergency Management Agency, effective date December 18, 2015.
- The highest anticipated groundwater elevation is noted as 2 feet above the highest piezometer reading in proximity of the lot. Future readings will continue to be gathered by Houge Geotechnical.

LEGEND

- DENOTES DUTY WIRE
- DENOTES POWER POLE
- DENOTES OVERHEAD WIRE
- DENOTES EXISTING CONTOURS
- DENOTES COUNTY DITCH NO. 58
- DENOTES FRENCH DITCH
- DENOTES PROPOSED STORM SEWER
- DENOTES FEMA FLOOD ZONE TYPE "X" PER FEMA FLOOD INSURANCE RATE MAP
- DENOTES PROPOSED EASEMENT
- DENOTES EXISTING EASEMENT
- DENOTES PROPOSED SEPTIC AREA
- DENOTES PROPOSED BUILDING AREA
- DENOTES PROPOSED YARD AREA
- DENOTES PIEZOMETER (BY HANCO GEOTECHNICAL)
- DENOTES SOIL BORING (BY HANCO TRADEVELL)
- DENOTES SOIL BORING (BY TTCO ALLED ENGINEERING CO.)

GRAPHIC SCALE

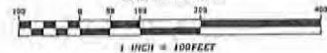


CHART LEGEND
 SDO = SLAB ON GRADE
 (W) = WATER

PRELIMINARY NOT FOR CONSTRUCTION

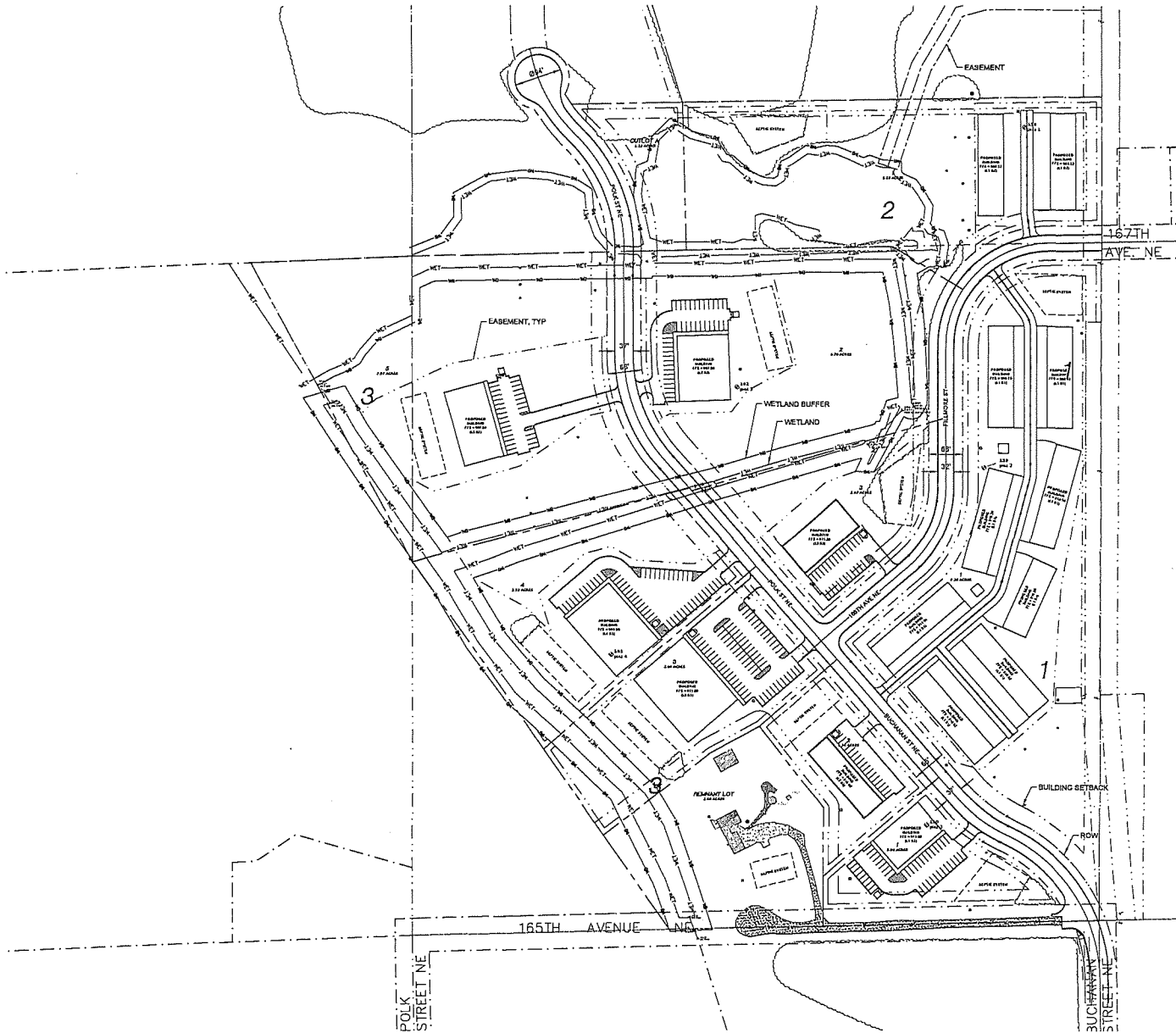
E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

\$2000
 LIABILITY PLAN

Project Title:
CREEKSIDE FARMS DEVELOPMENT, LLC
 HAM LAKE, MN. 55304

Client:
JESSE OSBORNE, CSF DEVELOPMENT, LLC
 16800 HWY. 65 NE
 HAM LAKE, MN 55304

Larson Engineering, Inc.
 616 W. St. Germain Street
 Suite 303
 St. Cloud, MN 56301
 320.774.1044
 www.larsonengr.com



NOTE: PROJECT WILL BE COMPLETED IN TWO PHASES.

PHASE 1: 167 AVE NE & BUCHANAN ST (SOUTH OF INTERSECTION)
(SCHEDULE: BEGIN SUMMER 2021, END SPRING 2022)

PHASE 2: BUCHANAN ST (NORTH OF INTERSECTION)
(SCHEDULE: TBD)

PRELIMINARY NOT FOR CONSTRUCTION

Larson Engineering, Inc.
819 W. St. Germain Street
Suite 209 Ham Lake, MN 55301
307.744.1414
www.larsoneng.com
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16800 HWY. 65 NE
HAM LAKE, MN 55304

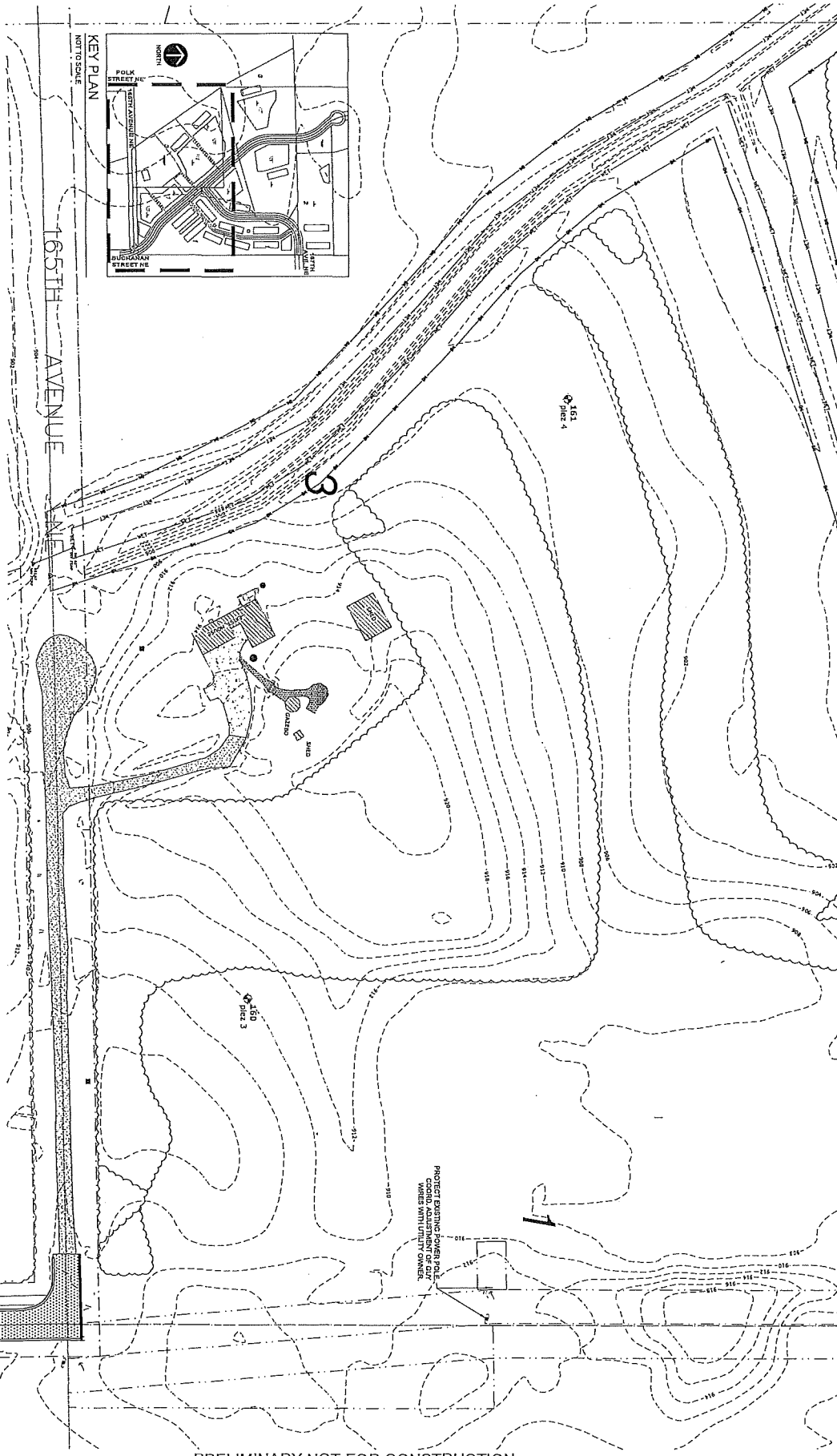
CREEKSIDE FARMS DEVELOPMENT
HAM LAKE, MN. 55304

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.
Thomas J. Helkenhoff
Thomas J. Helkenhoff, P.E.
Date: 07.20.21 Lic. No.: 25520

Rev.	Date	Description

Project #: 12210211.000
Drawn By: TJK
Checked By: TJK
Issue Date: 07.20.2021
Sheet Title:

OVERALL SITE PLAN
Sheet:
C000



SYMBOL LEGEND

- REMOVE AND REPLACE OF BRICKWORK PAVEMENT SECTION
- REMOVE AND REPLACE OF ALL UNDERGROUND TREES, STUMPS, AND ROOTS

DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to provide all necessary utility disconnections and relocations from existing power, cable tv, telephone, gas, electric, and lighting, etc. - see existing conditions, and to be noted on other construction. The Contractor shall install the services of a private utility locator to locate the private utilities.
3. General along edges of pavement, sidewalk, and utility to remove.
4. All construction shall be performed in accordance with state and local mandated specifications for construction.

PROTECT EXISTING SERVICE TUBES AND WIRING WITH UTILITY OWNER.

PRELIMINARY NOT FOR CONSTRUCTION

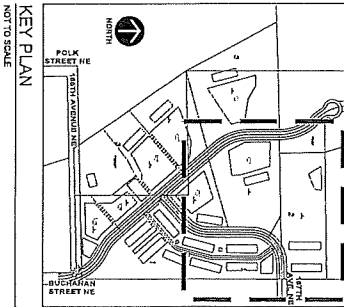
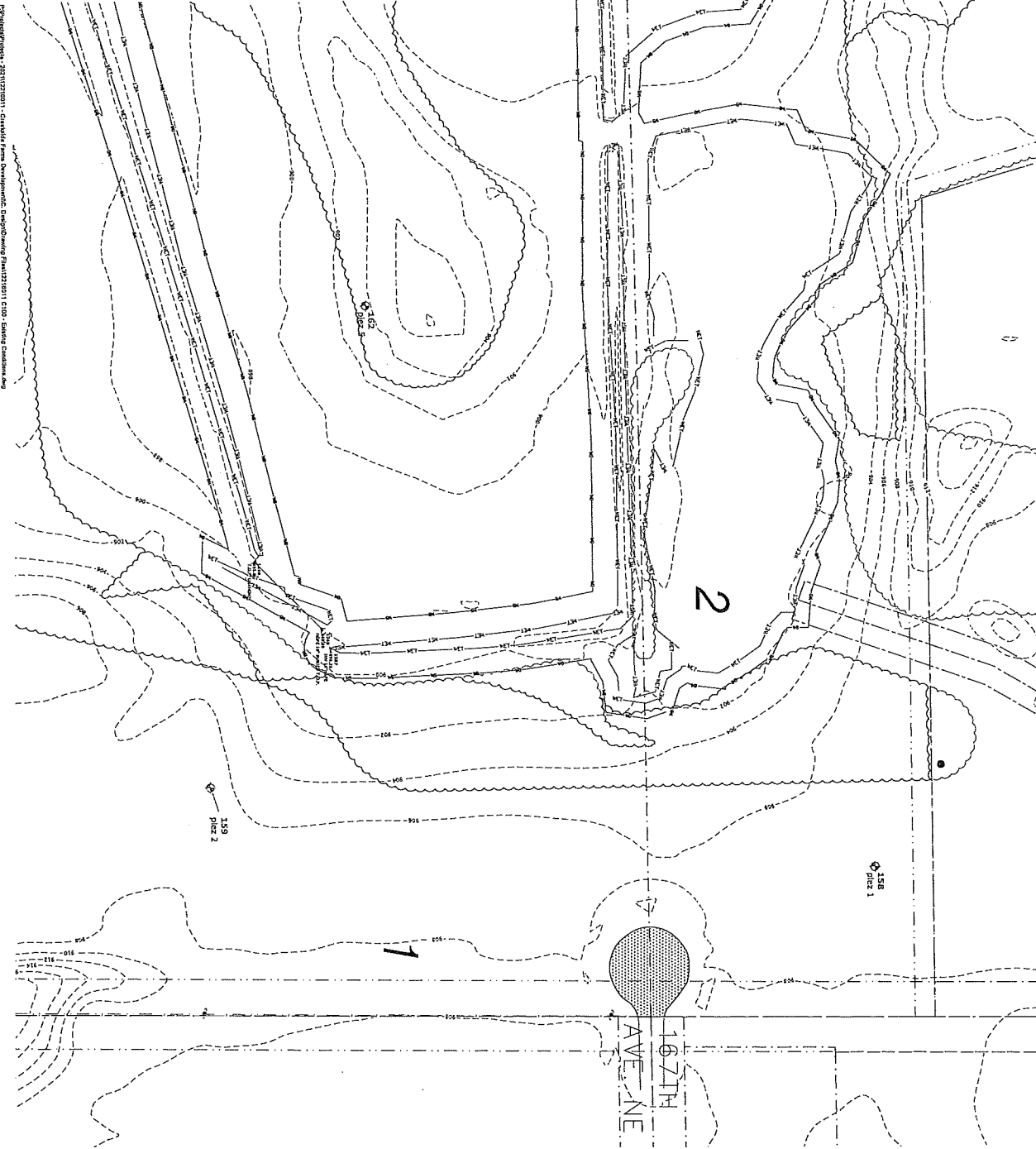
C100

Project No.	191011-000
Client	JESSE OSBORNE, CSF DEVELOPMENT, LLC
Checked by	JHL
Date	07/26/2011
Sheet No.	01 of 02
Project Name	EXISTING CONDITIONS AND DEMOLITION PLAN - SOUTH

CREEKSIDE FARMS DEVELOPMENT
HAM LAKE, MN, 55304

JESSE OSBORNE, CSF DEVELOPMENT, LLC
16800 HWY. 65 NE
HAM LAKE, MN 55304

Larson Engineering, Inc.
818 W. St. Germain Street
Suite 308
St. Cloud, MN 56301
320.774.1944
www.larsoneng.com



- SYMBOL LEGEND**
- REMOVE AND DISPOSE OF EXISTING FOUNDATION
 - REMOVE AND DISPOSE OF ALL UNDERPINNINGS, TIERS, STUMPS, AND ROOTS.

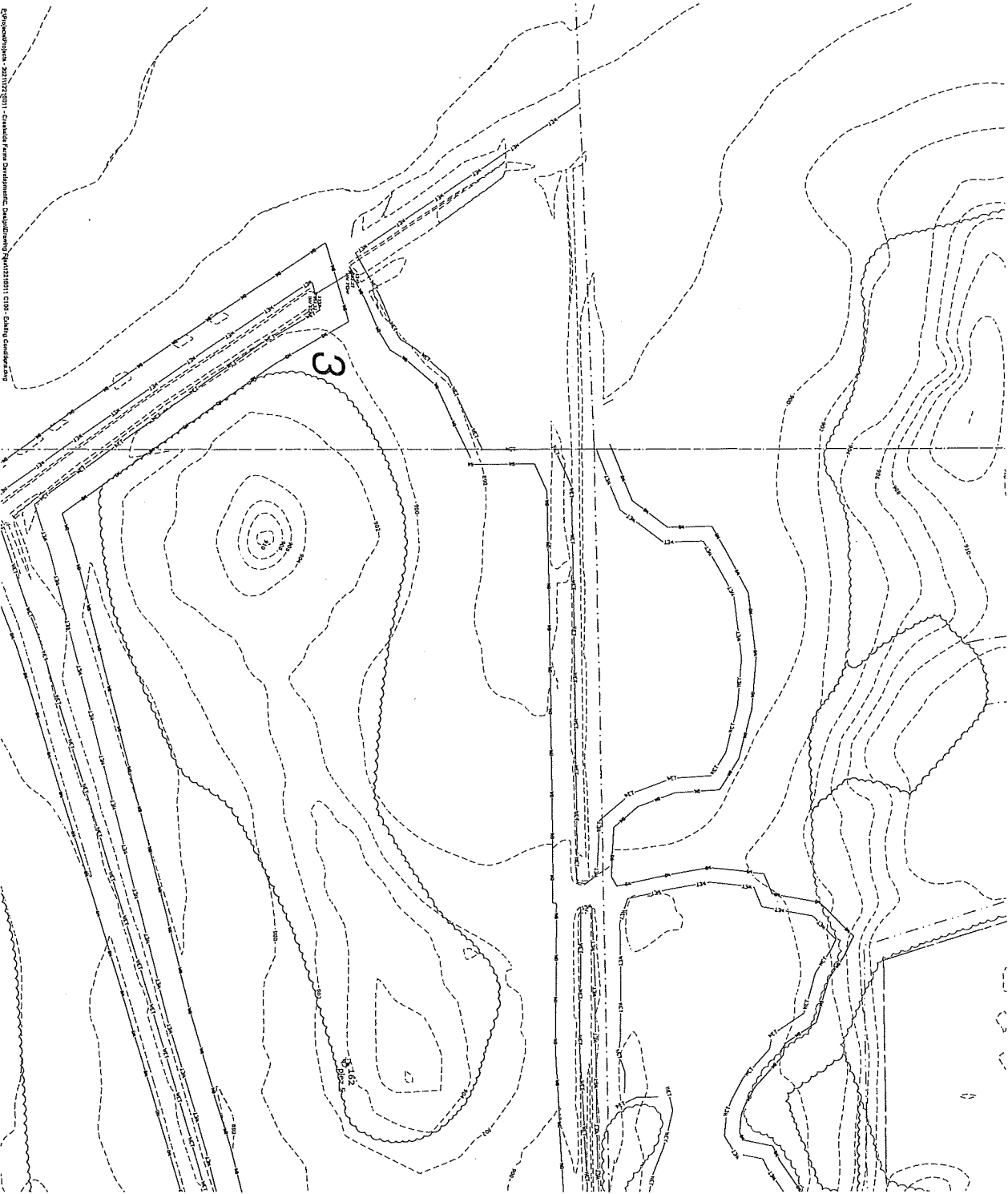
- DEMOLITION NOTES**
1. Verify all existing utility locations.
 2. It is the responsibility of the Contractor to perform or coordinate all necessary utility shutdowns and relocations from existing utility locations not located in, within, auxiliary power, cable tv, telephone, gas, electric, and lighting, etc.
 3. Prior to beginning work, contact Cooper State Chapter (651-454-4200) to shall obtain the services of a private utility locator to locate the private utilities.
 4. Sawcut along edges of foundations, sidewalks, and curbs to remove.
 5. All construction shall be performed in accordance with state and local standard specifications for construction.

PRELIMINARY NOT FOR CONSTRUCTION

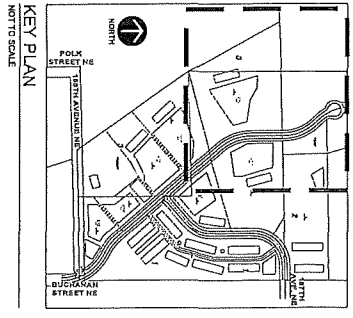
<p>NORTH</p>	<p>0 25 50 100</p>
	<p>C101</p>

Project Title: **CREEKSIDE FARMS DEVELOPMENT**
 HAM LAKE, MN. 55304
 Client: **JESSE OSBORNE, CSF DEVELOPMENT, LLC**
 16800 HWY. 65 NE
 HAM LAKE, MN 55304
 Date: 07/29/21, L.S. No.: 20250
 Designer: *[Signature]*
 Checker: *[Signature]*
 Project #: 15718211.000
 Drawing #: 15718211.000
 Date: 07/29/21

Larson Engineering, Inc.
 616 W. St. Germain Street
 Suite 208
 St. Cloud, MN 56301
 320.774.1844
 www.larsonengr.com
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C:\Users\jrogers\Documents\Creekside Farms Development\C102.dwg (4/22/2021) C102 - Existing Conditions.dwg



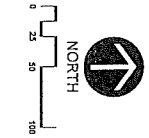
SYMBOL LEGEND

	REMOVE AND DISPOSE OF SIMULTANEOUS PARALLEL SECTION
	REMOVE AND DISPOSE OF ALL ROADS, DRIVEWAYS, UTILITY STRUCTURES, AND UTILITIES

DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility relocation and protection from existing utility structures and related to the project. All utility relocation, trenching, pipe, electric, and lighting, etc.
3. Prior to beginning work, contact Dakota State Central (857-442-0272) to obtain utility records for the project. Utility records should be located to the project utility.
4. Remove along edges of pavement, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standards specifications for construction.

PRELIMINARY NOT FOR CONSTRUCTION



<p> PROJECT: CREEKSIDE FARMS DEVELOPMENT HAM LAKE, MN. 55304 </p>	<p> CLIENT: JESSE OSBORNE, CSF DEVELOPMENT, LLC 16800 HWY. 65 NE HAM LAKE, MN 55304 </p>	<p> ENGINEER: Larson Engineering, Inc. 816 W. St. Germain Street Suite 300 St. Cloud, MN 56301 320.774.1844 www.larsonengr.com </p>
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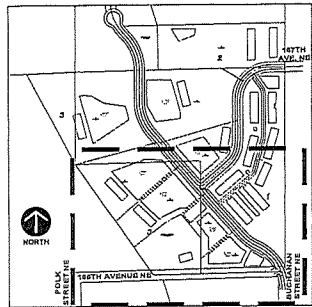
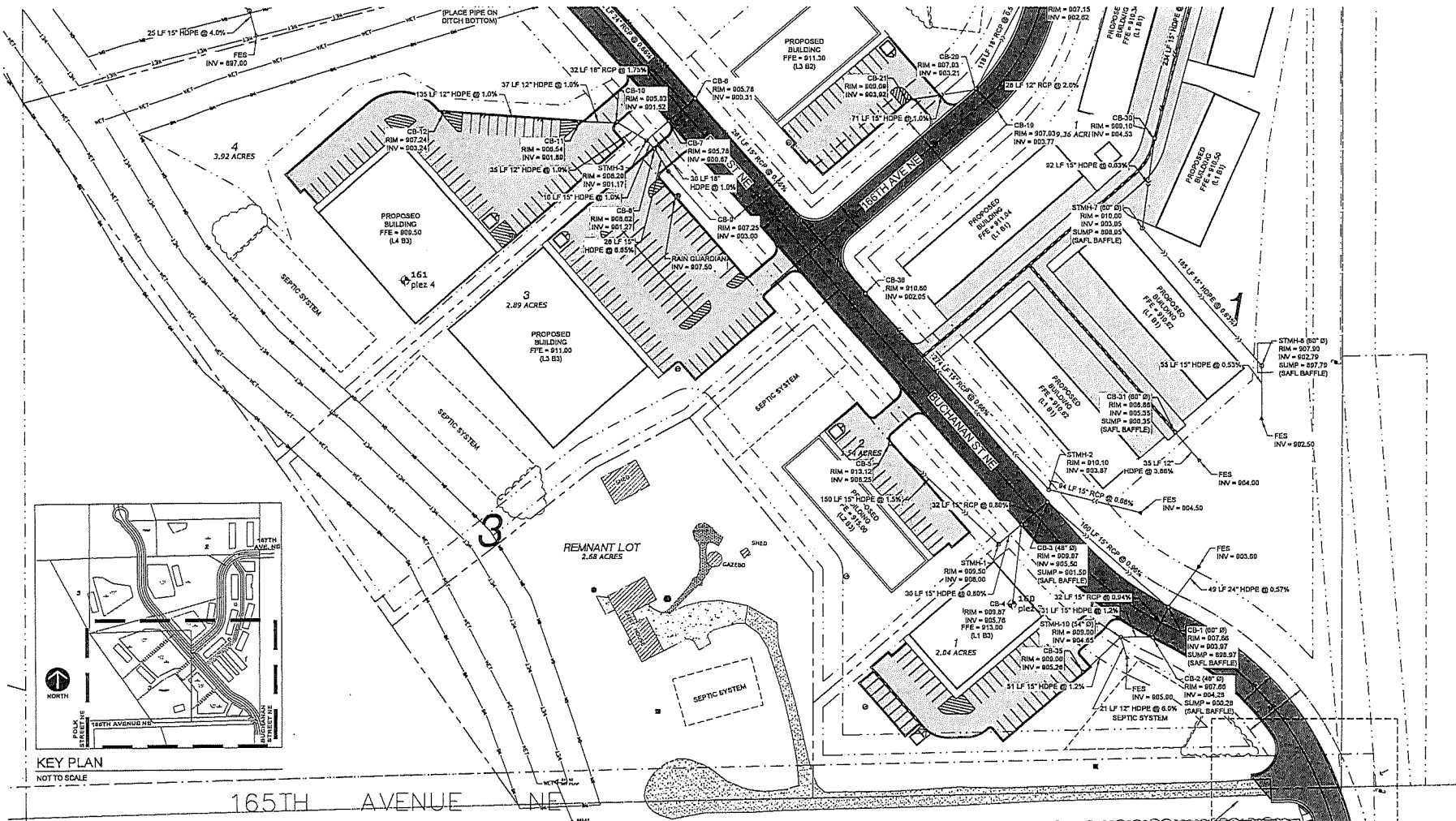
<p> DATE: 07/20/21 SCALE: 1" = 40' </p>	<p> PROJECT NO.: 2021-001 </p>
--	---

<p> DESIGNED BY: JRM CHECKED BY: TML DATE: 07/20/21 </p>	<p> PROJECT NO.: 2021-001 </p>
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<p> PROJECT NO.: 2021-001 </p>	<p> DATE: 07/20/21 </p>
---	--------------------------------------

<p> PROJECT NO.: 2021-001 </p>	<p> DATE: 07/20/21 </p>
---	--------------------------------------

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SYMBOL LEGEND

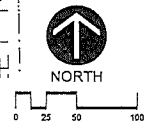
- STORM MANHOLE
- CATCH BASIN
- CURB INLET
- ▭ FLARED END
- SANITARY MANHOLE
- ⊕ HYDRANT
- ⊗ GATE VALVE & BOX
- ⊙ WATER SHUTOFF
- ⊛ LIGHT POLE
- CTV
- FO
- GAS
- WATER
- TELEPHONE
- CABLE UNDERGROUND LINE
- ELECTRIC OVERHEAD LINE
- ELECTRIC UNDERGROUND LINE
- FIBER OPTIC UNDERGROUND LINE
- NATURAL GAS UNDERGROUND LINE
- SANITARY SEWER PIPE
- STORM SEWER PIPE
- TELEPHONE UNDERGROUND LINE
- WATERMAIN PIPE
- DRAINAGE PIPE

SYMBOL LEGEND

- ▭ NEW PRIVATE DRIVES BITUMINOUS PAVEMENT
- ▭ NEW PUBLIC ROADWAY BITUMINOUS PAVEMENT
- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE

NOTE: PROPOSED BUILDINGS AND PARKING AREAS ARE SUBJECT TO CHANGE.

SEE INSET A ON SHEET C201 FOR BIKE PATH TRANSITION



PRELIMINARY NOT FOR CONSTRUCTION

CREEKSIDE FARMS DEVELOPMENT

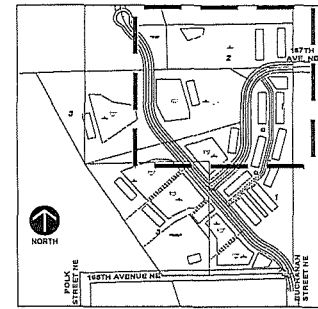
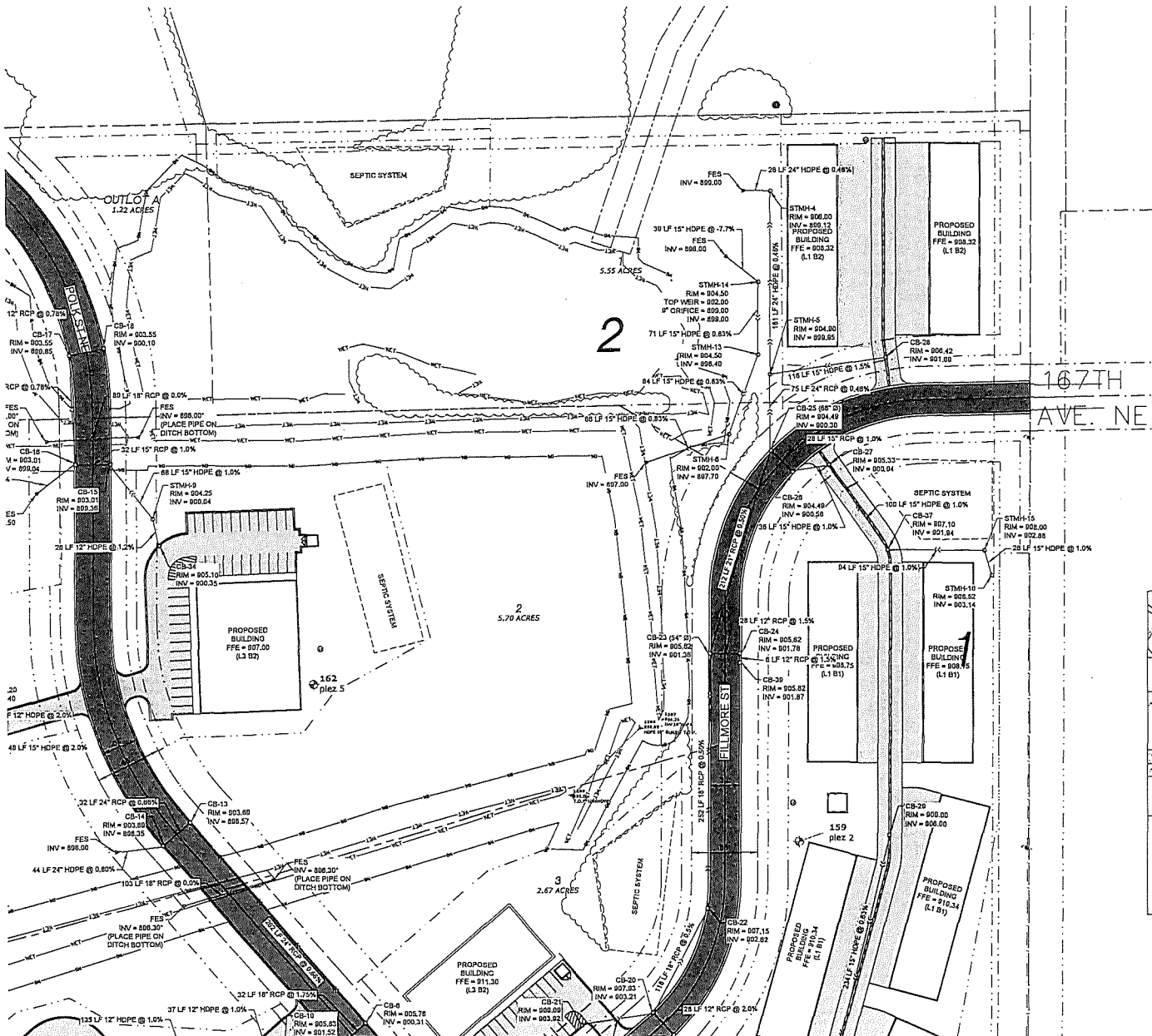
STREET & STORM SEWER PLAN - SOUTH

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 18000 HWY. 65 NE
 HAM LAKE, MN 55304

Project No: 12210011.005
 Drawn By: TJR
 Checked By: TJH
 Issue Date: 07.30.2021
 Sheet Title: PRELIMINARY STREET & STORM SEWER PLAN - SOUTH
 Sheet No: **C200**

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 Thomas J. Heisenhart, P.E.
 Date: 07.30.21 Lic. No.: 25520

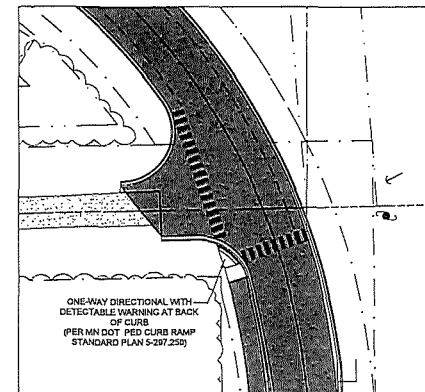


KEY PLAN
NOT TO SCALE

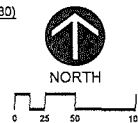
SYMBOL LEGEND

- NEW PRIVATE DRIVES
BITUMINOUS PAVEMENT
- NEW PUBLIC ROADWAY
BITUMINOUS PAVEMENT
- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE

NOTE: PROPOSED BUILDINGS AND PARKING AREAS ARE SUBJECT TO CHANGE.



INSET A
BIKE LANE TRANSITION (SCALE 1:30)



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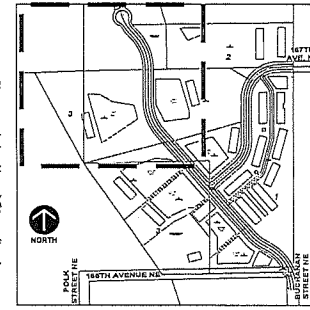
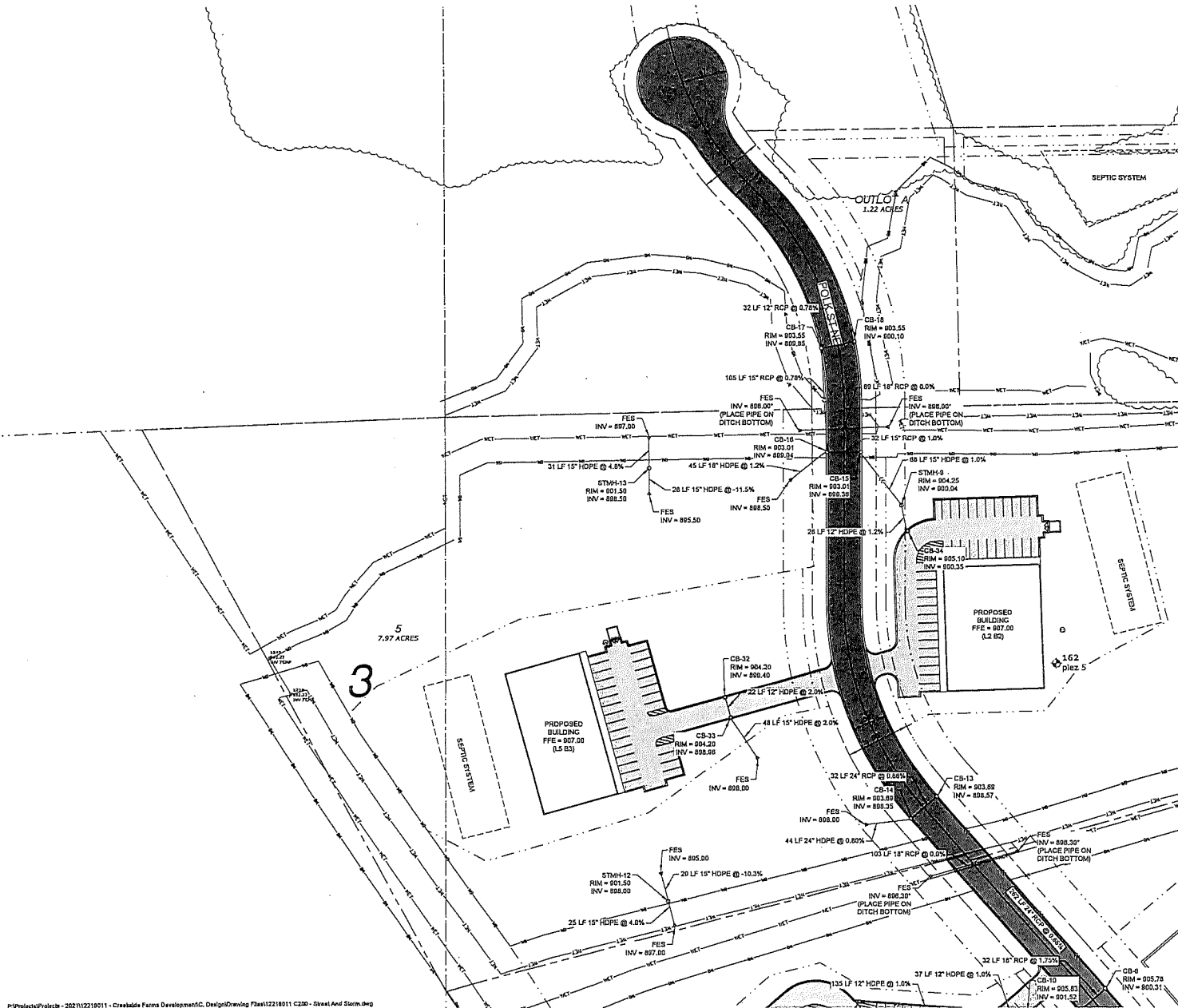
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CREEKSIDE FARMS DEVELOPMENT
HAM LAKE, MN 55304

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Thomas J. Markenhoff
Thomas J. Markenhoff, P.E.
Date: 07.20.21 Lic. No.: 25220

Rev.	Date	Deviation

Project #: 12218011.000
Drawn By: TJK
Checked By: TJH
Issue Date: 07.20.2021
Sheet Title:
PRELIMINARY STREET & STORM SEWER PLAN - NE
Sheet:
C201

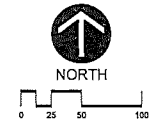


KEY PLAN
NOT TO SCALE

SYMBOL LEGEND

- NEW PRIVATE DRIVES
BITUMINOUS PAVEMENT
- NEW PUBLIC ROADWAY
BITUMINOUS PAVEMENT
- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE

NOTE: PROPOSED BUILDINGS AND PARKING AREAS ARE SUBJECT TO CHANGE.



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DEVELOPMENT**
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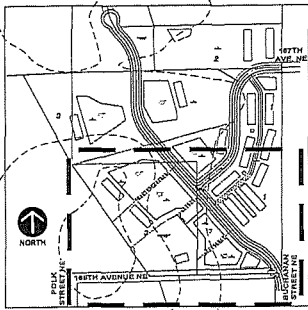
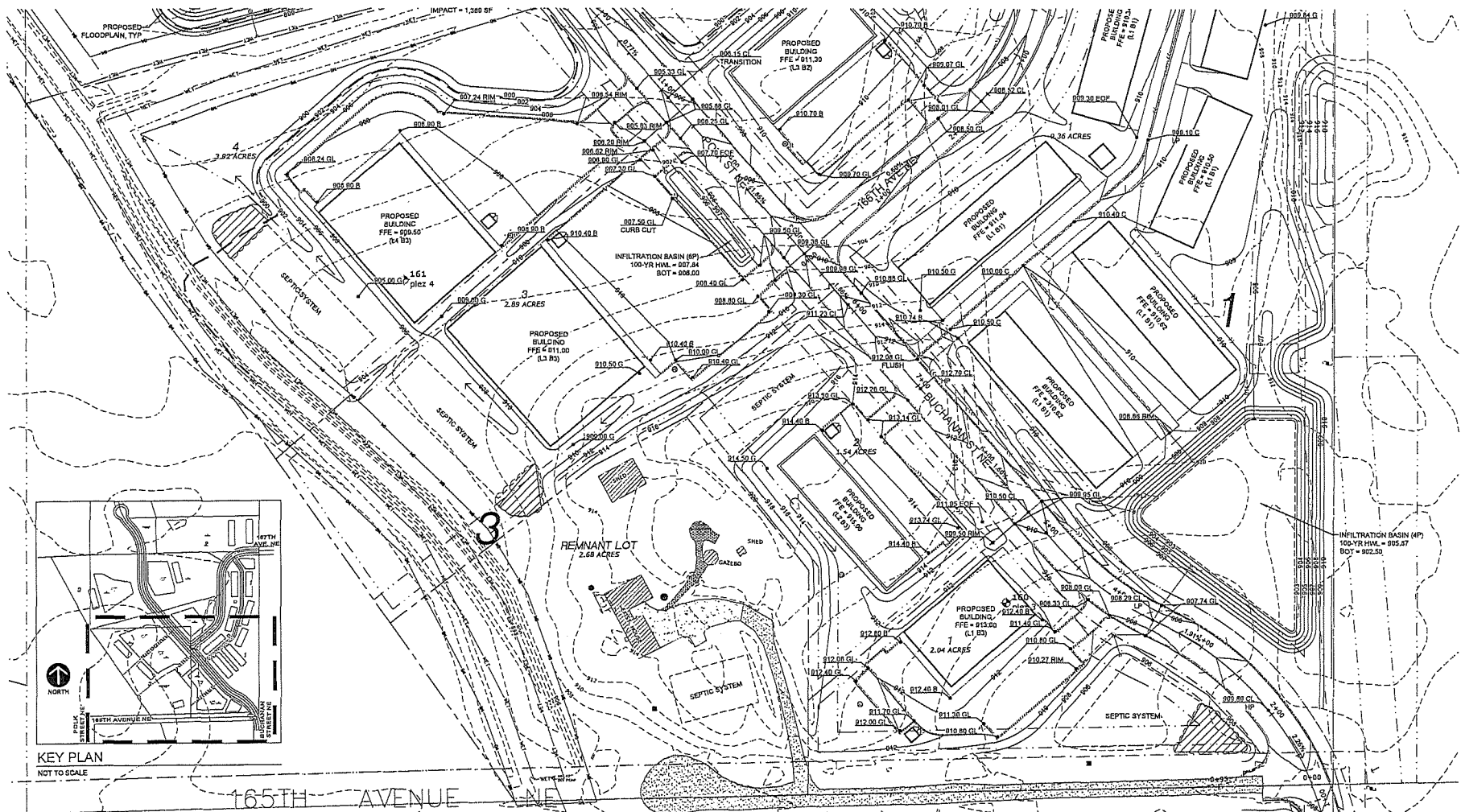
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Thomas J. Hestonhoff, P.E.
Thomas J. Hestonhoff, P.E.
Date: 07.20.21 Lic. No.: 25520

Rev.	Date	Description

Project #: 12218011.000
Drawn By: TJR
Checked By: TJH
Issue Date: 07.20.2021
Sheet Title:
PRELIMINARY STREET & STORM SEWER PLAN - NW
Sheet:

C202



KEY PLAN
NOT TO SCALE

SYMBOL LEGEND

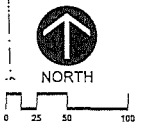
- | | | | |
|-----|------------------------------------|-----|-----------|
| --- | EXISTING CONTOURS | --- | 850.00 TC |
| --- | PROPOSED CONTOURS - MAJOR INTERVAL | --- | 840.50 CL |
| --- | PROPOSED CONTOURS - MINOR INTERVAL | --- | |
| --- | GRADE BREAK LINE | --- | |
| --- | GRADE SLOPE | --- | |
-
- | | |
|-----|---------------------------|
| --- | SPOT ABBREVIATIONS: |
| --- | TC - TOP OF CURB |
| --- | CL - CUTTER LINE |
| --- | B - BITUMINOUS |
| --- | C - CONCRETE |
| --- | G - GROUND |
| --- | CL - CENTER LINE |
| --- | HP - HIGH POINT |
| --- | LP - LOW POINT |
| --- | RIM - TOP OF CASTING |
| (-) | - EXISTING TO BE VERIFIED |

GRADING NOTES

- Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
- All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
- Grades shown in paved areas represent finish elevation.
- Restore all disturbed areas with 4" of good quality topsoil and seed.
- All construction shall be performed in accordance with state and local standard specifications for construction.
- Contractor shall conduct a post construction test on the infiltration basins by filling the basins to a minimum depth of 6 inches with water and monitoring the time necessary to drain. The Cotton Creek Watershed District shall be notified prior to the test to witness the results.
- Contractor shall de-compact all disturbed pervious areas to a depth of 6".

TREE PROTECTION NOTES

- TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- SILT / TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE DRIP LINE OF TREES IN THE TREE PROTECTION ZONE.
- FIELD DECISIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PRESENT SIGNIFICANT TREES.
- SOME TREES AND DEAD FALL ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. GAUBING OF STUMPS WILL OCCUR AFTER EROSION CONTROL MEASURE ARE INSTALLED.



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CREEKSIDE FARMS
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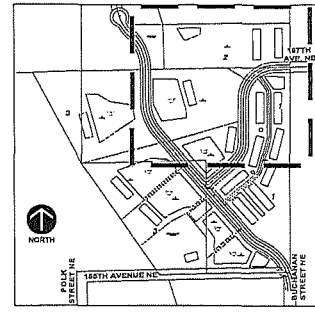
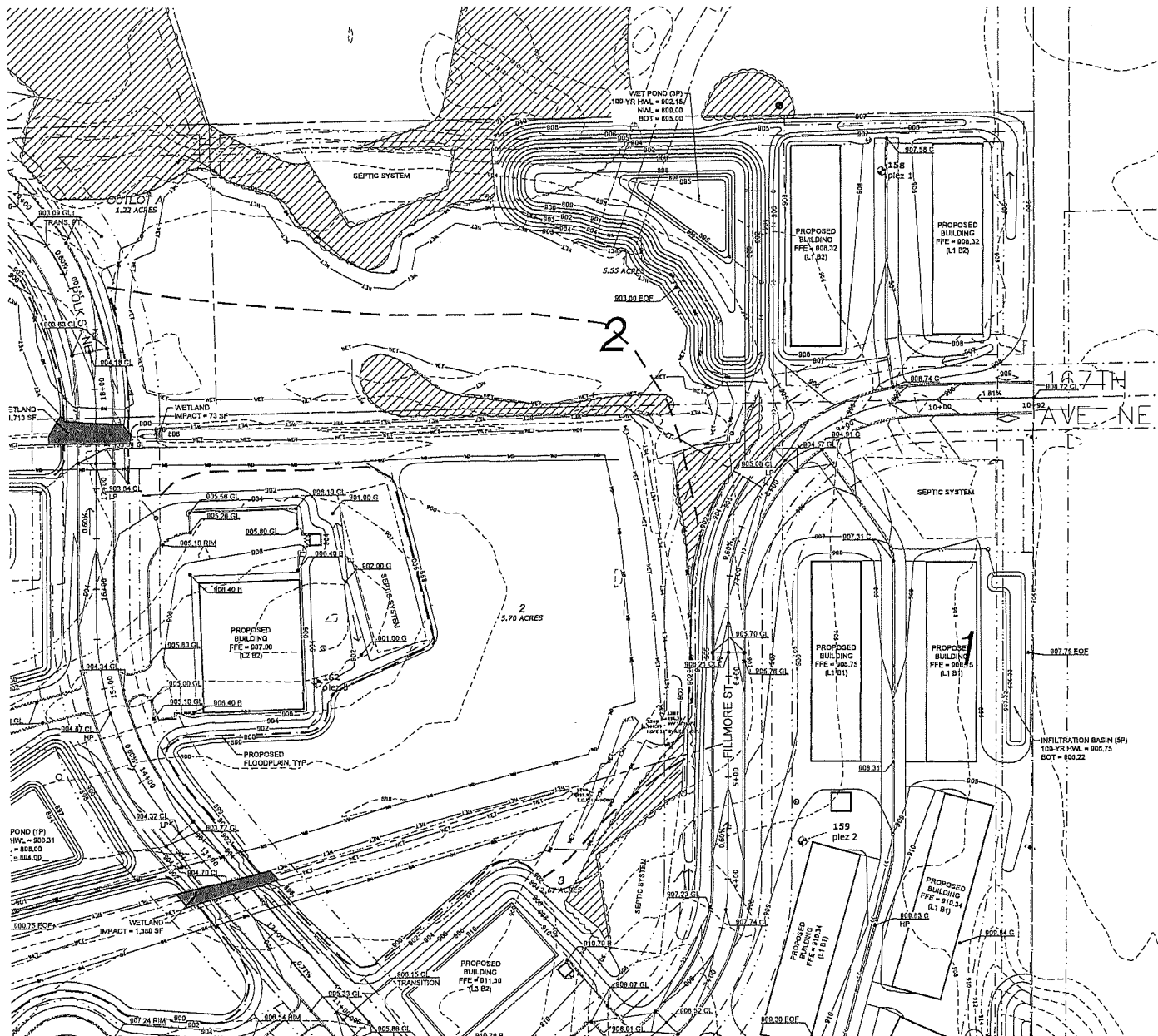
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Thomas J. Markanoff
Thomas J. Markanoff, P.E.
Date: 07.20.21 Lic. No.: 25320

Rev.	Date	Description

Project #: 12210011.000
Drawn By: TJK
Checked By: TJK
Issue Date: 07.20.2021
Sheet Title:
PRELIMINARY GRADING & TREE PROTECTION PLAN - SOUTH

Sheet:
C300



KEY PLAN
NOT TO SCALE

SYMBOL LEGEND

---	EXISTING CONTOURS
---	PROPOSED CONTOURS - MAJOR INTERVAL
---	PROPOSED CONTOURS - MINOR INTERVAL
---	GRADE BREAK LINE
---	GRADE SLOPE

SPOT ABREVIATIONS:

TC	TOP OF CURB
CL	CUTTER LINE
B	BITUMINOUS
C	CONCRETE
G	GROUT
CL	CENTER LINE
HP	HIGH POINT
LP	LOW POINT
RM	TOP OF CASTING
(*)	EXISTING TO BE VERIFIED

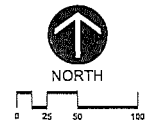
GRADING NOTES

- Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
- All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
- Grades shown in paved areas represent finish elevation.
- Restore all disturbed areas with 4" of good quality topsoil and seed.
- All construction shall be performed in accordance with state and local standard specifications for construction.
- Contractor shall conduct a post construction test on the infiltration basins by filling the basins to a minimum depth of 6 inches with water and monitoring the time necessary to drain. The Coon Creek Watershed District shall be notified prior to the tests to witness the results.
- Contractor shall de-compact all disturbed pervious areas to a depth of 6".

TREE PROTECTION NOTES

- TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- SILT/TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE Drip Line of TREES in the TREE PROTECTION ZONE.
- FIELD DECISIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PRESERVE SIGNIFICANT TREES.
- SOME TREES AND DEAD BRANCHES TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT/TREE PROTECTION FENCE. BRUSHING OF TRUNKS WILL OCCUR AFTER EROSION CONTROL MEASURE ARE INSTALLED.

DENOTES TREE PRESERVATION AREA



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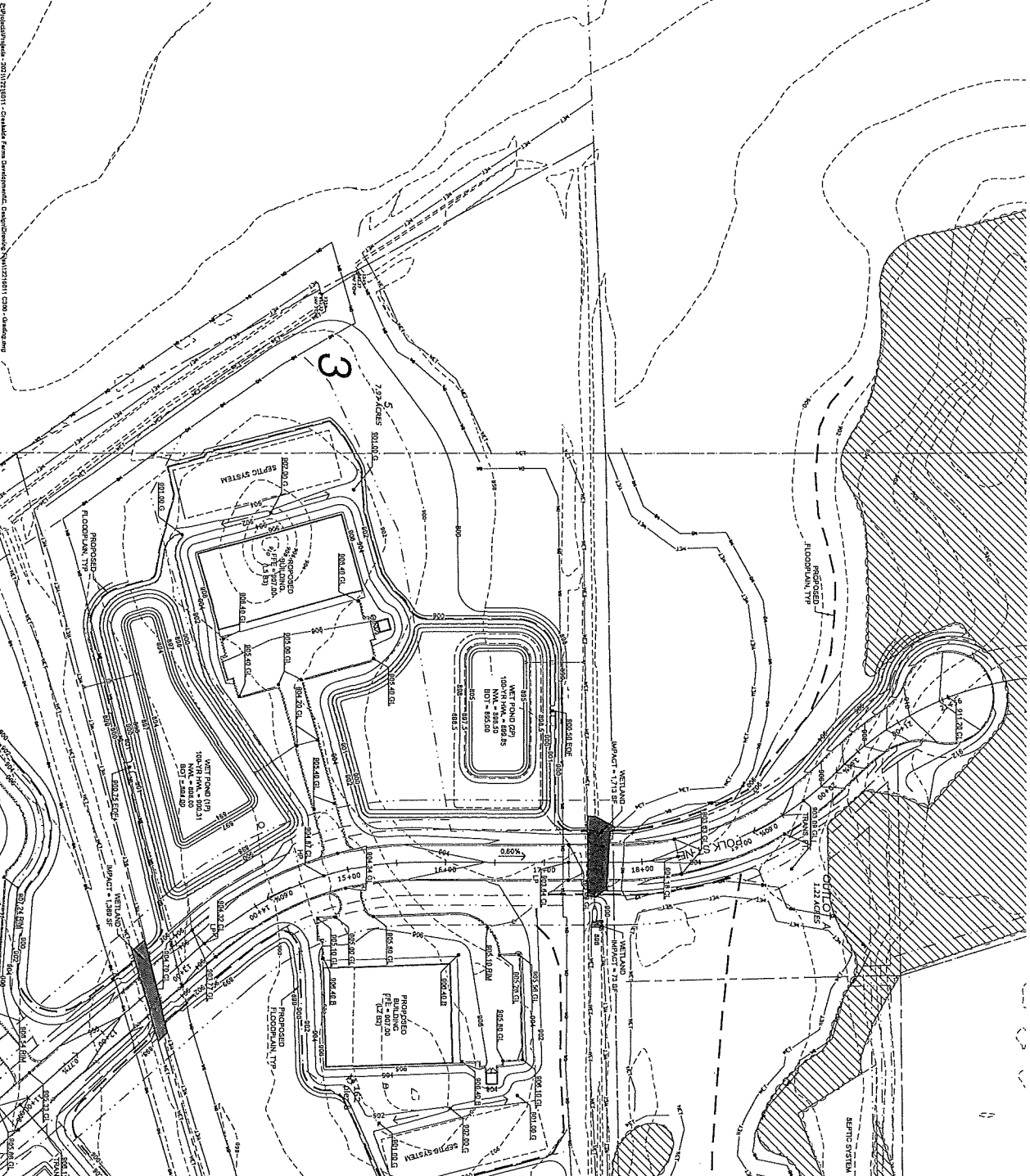
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Date: 07.20.21 Lic. No.: 25220

Rev.	Date	Description

Project #: 12216011.000
Drawn By: JCH
Checked By: TJH
Issue Date: 07.20.2021

Sheet Title:
PRELIMINARY GRADING & TREE PROTECTION PLAN - NE
Sheet:
C301



SYMBOL LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS - MAJOR INTERVAL
- PROPOSED CONTOURS - MINOR INTERVAL
- GRADE BREAK LINE
- GRADE SLOPE

SPOT ELEVATIONS

- 1. 050.00 TC
- 2. 049.20 CL
- 3. 048.20 CL
- 4. 047.20 CL
- 5. 046.20 CL
- 6. 045.20 CL
- 7. 044.20 CL
- 8. 043.20 CL
- 9. 042.20 CL
- 10. 041.20 CL
- 11. 040.20 CL
- 12. 039.20 CL
- 13. 038.20 CL
- 14. 037.20 CL
- 15. 036.20 CL
- 16. 035.20 CL
- 17. 034.20 CL
- 18. 033.20 CL
- 19. 032.20 CL
- 20. 031.20 CL
- 21. 030.20 CL
- 22. 029.20 CL
- 23. 028.20 CL
- 24. 027.20 CL
- 25. 026.20 CL
- 26. 025.20 CL
- 27. 024.20 CL
- 28. 023.20 CL
- 29. 022.20 CL
- 30. 021.20 CL
- 31. 020.20 CL
- 32. 019.20 CL
- 33. 018.20 CL
- 34. 017.20 CL
- 35. 016.20 CL
- 36. 015.20 CL
- 37. 014.20 CL
- 38. 013.20 CL
- 39. 012.20 CL
- 40. 011.20 CL
- 41. 010.20 CL
- 42. 009.20 CL
- 43. 008.20 CL
- 44. 007.20 CL
- 45. 006.20 CL
- 46. 005.20 CL
- 47. 004.20 CL
- 48. 003.20 CL
- 49. 002.20 CL
- 50. 001.20 CL

GRADING NOTES

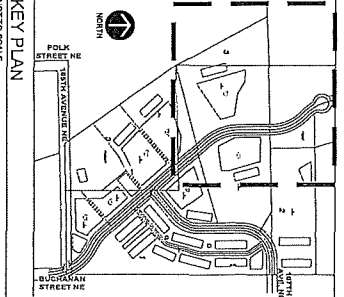
1. This protection consisting of concrete faces or safety fence installed at the edge line shall be in place prior to beginning any grading or construction work at the site.
2. All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
3. Grades shown in paved areas represent shall remain.
4. Retention at disturbed areas with or without geotextile fabric and seed.
5. All construction shall be performed in accordance with state and local land-use specifications for construction.
6. Contractor shall conduct a post construction test on the infiltration holes by filling the holes to a minimum depth of 18 inches with water and measuring the flow necessary to drain the water. The design flow velocity shall be verified prior to site start is required.
7. Contractor shall be responsible for disturbed portions areas to a depth of 6".

TREE PROTECTION NOTES

1. THE PROTECTION LIGHTS TO BE MOVED TO FIELD POINT TO AVOID THE GRADING AGENTS.
2. SITE/TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIGHT LINE.
3. CARE TO BE TAKEN TO AVOID CONSTRUCTION AGENTS OR CONSTRUCTION VEHICLES TO BE TAKEN TO AVOID CONSTRUCTION AGENTS OR CONSTRUCTION VEHICLES TO BE TAKEN TO AVOID CONSTRUCTION AGENTS OR CONSTRUCTION VEHICLES.
4. PROTECTIVE SIGNAGE SHALL BE PLACED AT THE PROTECTION LIGHTS TO AVOID CONSTRUCTION AGENTS OR CONSTRUCTION VEHICLES.
5. 150K VOLTAGE SHALL BE MAINTAINED TO BE CLEAR. THIS MAY BE DONE WITH TO BE MAINTAINED TO BE CLEAR. THIS MAY BE DONE WITH TO BE MAINTAINED TO BE CLEAR.
6. PROTECTIVE SIGNAGE SHALL BE PLACED AT THE PROTECTION LIGHTS TO AVOID CONSTRUCTION AGENTS OR CONSTRUCTION VEHICLES.
7. CONSTRUCTION SHALL BE RESPONSIBLE FOR MAINTAINING PROTECTION LIGHTS TO AVOID CONSTRUCTION AGENTS OR CONSTRUCTION VEHICLES.



DENOTES TREE PRESERVATION AREA

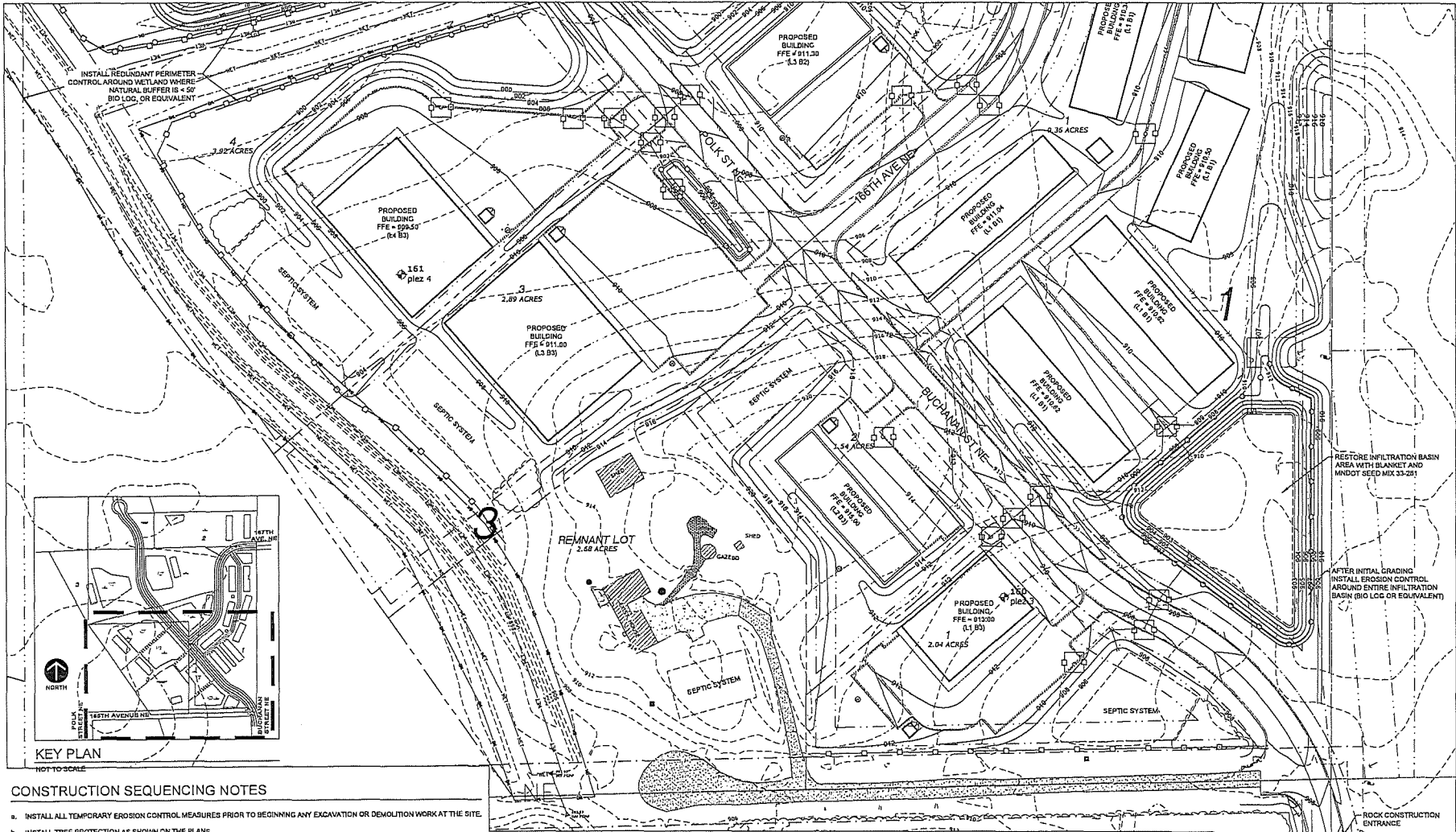


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C302
 PRELIMINARY GRADING & TREE PROTECTION PLAN - NW
 Sheet No. 02/28/2021
 Project # 12/20/21/008
 Client: JESSE OSBORNE, CSF DEVELOPMENT, LLC
 Date: 02/28/21 L.S. No. 25592
 Title: DESIGNER
 Name: [Signature]
 Title: PROJECT ENGINEER
 Name: [Signature]
 Title: PROJECT ENGINEER
 Name: [Signature]

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 Project Title: CREEKSIDE FARMS DEVELOPMENT
 HAM LAKE, MN. 55304

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CONSTRUCTION SEQUENCING NOTES

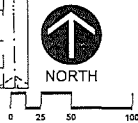
- a. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION WORK AT THE SITE.
- b. INSTALL TREE PROTECTION AS SHOWN ON THE PLANS.
- c. BEGIN GRADING OF SITE AND CONSTRUCTION OF PONDS, UTILITIES, AND ROADS. INFILTRATION BASINS TO BE TEMPORARILY GRADED TO 2" ABOVE FINISHED BOTTOM ELEVATION, TO BE USED AS TEMPORARY SEDIMENT BASINS. TEMPORARY SEDIMENT BASINS SHALL BE SIZED PER MPCA STANDARDS.
- d. INFILTRATION AREAS TO BE MARKED AND BIO LOG TO BE INSTALLED AROUND THE UPLAND EDGE OF EACH BASIN
- e. FINALIZE GRADES AND STABILIZE ALL AREAS DISTURBED BY GRADING AND CONSTRUCTION.
- f. SITE IS FULLY STABILIZED WITH ESTABLISHED VEGETATION.
- g. CLEANOUT OF PRE-TREATMENT PONDS AND FINAL GRADING, STABILIZATION, AND PLANTING OF INFILTRATION BASINS. FINAL GRADING OF INFILTRATION BASINS AT THIS POINT IN THE CONSTRUCTION SEQUENCE WILL INCLUDE EXCAVATION TO IN-SITU SOILS WITH DESIGN INFILTRATION RATES.
- h. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AFTER SITE AND BASINS ARE FULLY STABILIZED AND ALL CONSTRUCTION IN THE CONTRIBUTING DRAINAGE AREAS IS COMPLETE.

EROSION CONTROL NOTES

1. See Sheet C500 for Erosion Control Notes.

SYMBOL LEGEND

- SILT FENCE
- RIP-RAP / ROCK CONST. ENTRANCE
- INLET PROTECTION
- CONCRETE WASHOUT STATION



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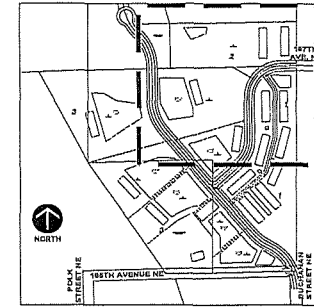
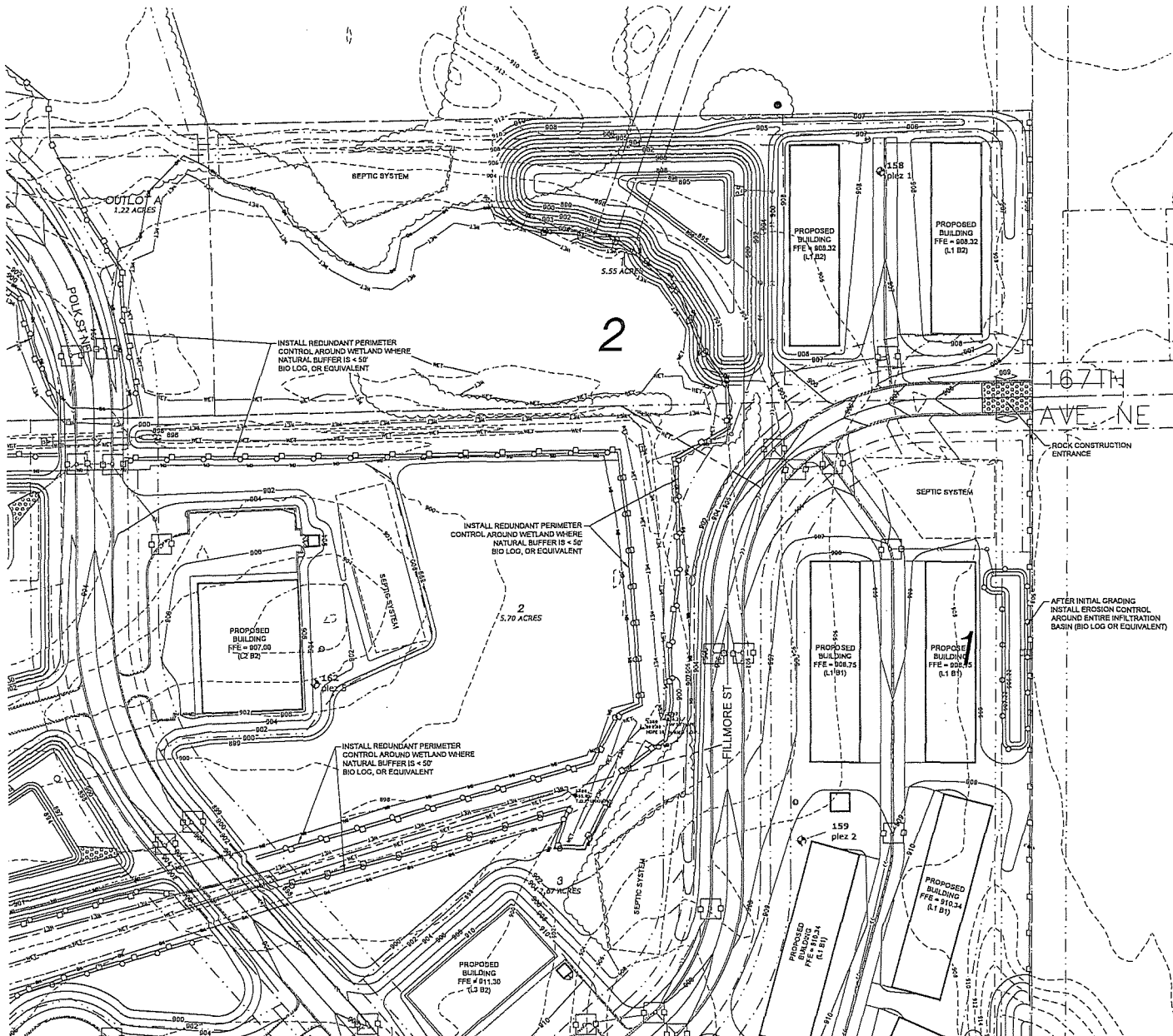
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Thomas J. Herkenhoff
Thomas J. Herkenhoff, P.E.
Date: 07.20.21 Lic. No.: 25520

Rev.	Date	Description

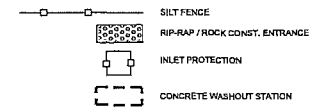
Project #: 12218011.000
Drawn By: T.J.H.
Checked By: T.J.H.
Issue Date: 07.20.2021
Sheet Title:

PRELIMINARY EROSION CONTROL PLAN - SOUTH
Sheet: **C400**



KEY PLAN
NOT TO SCALE

SYMBOL LEGEND



EROSION CONTROL NOTES

1. See Sheet C500 for Erosion Control Notes.

CONSTRUCTION SEQUENCING NOTES

1. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION WORK AT THE SITE.
2. INSTALL TREE PROTECTION AS SHOWN ON THE PLANS.
3. BEGIN GRADING OF SITE AND CONSTRUCTION OF PONDS, UTILITIES, AND ROADS. INFILTRATION BASINS TO BE TEMPORARILY GRADED TO 2' ABOVE FINISHED BOTTOM ELEVATION, TO BE USED AS TEMPORARY SEDIMENT BASINS. TEMPORARY SEDIMENT BASINS SHALL BE SIZED PER NPCC STANDARDS.
4. INFILTRATION AREAS TO BE MARKED AND BIO LOG TO BE INSTALLED AROUND THE UPLAND EDGE OF EACH BASIN.
5. FINALIZE GRADES AND STABILIZE ALL AREAS DISTURBED BY GRADING AND CONSTRUCTION.
6. SITE IS FULLY STABILIZED WITH ESTABLISHED VEGETATION.
7. CLEANOUT OF PRE-TREATMENT PONDS AND FINAL GRADING, STABILIZATION, AND PLANTING OF INFILTRATION BASINS. FINAL GRADING OF INFILTRATION BASINS AT THIS POINT IN THE CONSTRUCTION SEQUENCE WILL INCLUDE EXCAVATION TO IN-SITU SOILS WITH DESIGN INFILTRATION RATES.
8. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AFTER SITE AND BASINS ARE FULLY STABILIZED AND ALL CONSTRUCTION IN THE CONTRIBUTING DRAINAGE AREAS IS COMPLETE.

PRELIMINARY NOT FOR CONSTRUCTION

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CREEKSIDE FARMS
DEVELOPMENT
HAM LAKE, MN. 55304

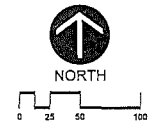
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.
Thomas J. Hauckenholt, P.E.
Thomas J. Hauckenholt, P.E.
Date: 07.20.21 Ltr. No: 23529

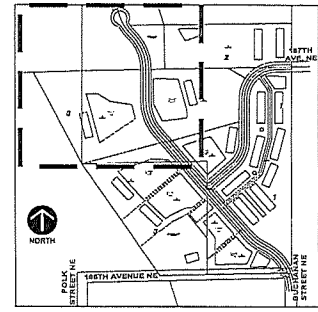
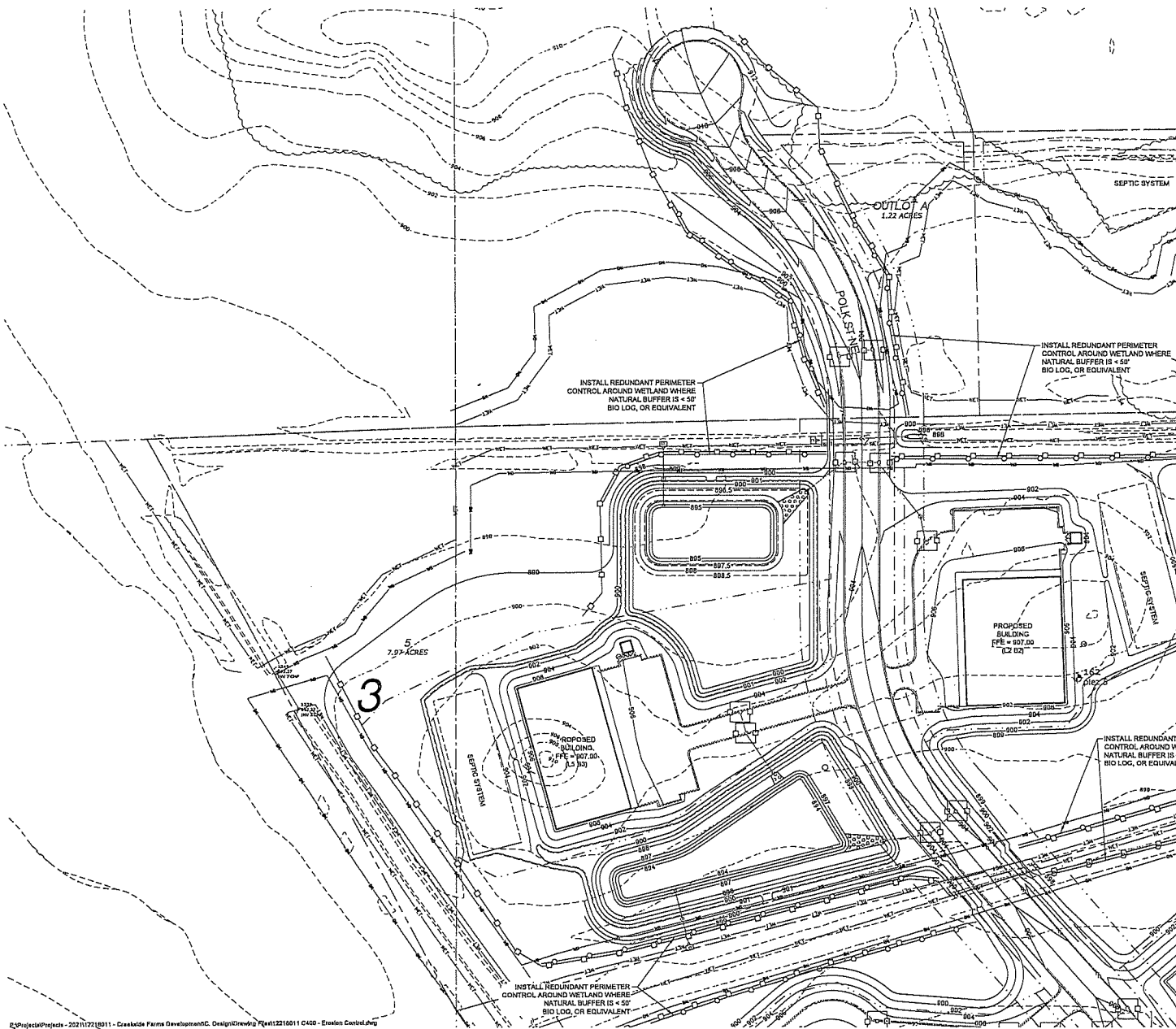
Rev.	Date	Description

Project #: 12210911.009
Drawn By: T.J.H.
Checked By: T.J.H.
Issue Date: 07.20.2021
Sheet Title:

PRELIMINARY
EROSION CONTROL
PLAN - NE

Sheet:
C401





SYMBOL LEGEND

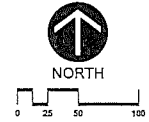
- SILT FENCE
- RIP-RAP / ROCK CONST. ENTRANCE
- INLET PROTECTION
- CONCRETE WASHOUT STATION

EROSION CONTROL NOTES

1. See Sheet C500 for Erosion Control Notes.

CONSTRUCTION SEQUENCING NOTES

- a. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION WORK AT THE SITE.
- b. INSTALL TREE PROTECTION AS SHOWN ON THE PLANS.
- c. BEGIN GRADING OF SITE AND CONSTRUCTION OF PONDS, UTILITIES, AND ROADS. INFILTRATION BASINS TO BE TEMPORARILY GRADED TO 2' ABOVE FINISHED BOTTOM ELEVATION, TO BE USED AS TEMPORARY SEDIMENT BASINS. TEMPORARY SEDIMENT BASINS SHALL BE SIZED PER NPCC STANDARDS.
- d. INFILTRATION AREAS TO BE MARKED AND BIO LOG TO BE INSTALLED AROUND THE UPLAND EDGE OF EACH BASIN.
- e. FINALIZE GRADES AND STABILIZE ALL AREAS DISTURBED BY GRADING AND CONSTRUCTION.
- f. SITE IS FULLY STABILIZED WITH ESTABLISHED VEGETATION.
- g. CLEANOUT OF PRE-TREATMENT PONDS AND FINAL GRADING, STABILIZATION, AND PLANTING OF INFILTRATION BASINS. FINAL GRADING OF INFILTRATION BASINS AT THIS POINT IN THE CONSTRUCTION SEQUENCE WILL INCLUDE EXCAVATION TO IN-SITU SOILS WITH DESIGN INFILTRATION RATES.
- h. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AFTER RITE AND BASINS ARE FULLY STABILIZED AND ALL CONSTRUCTION IN THE CONTRIBUTING DRAINAGE AREAS IS COMPLETE.



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**JESSE OSBORNE, CSF
 DEVELOPMENT, LLC**
 16800 HWY. 65 NE
 HAM LAKE, MN 55304

**CREEKSIDE FARMS
 DEVELOPMENT**
 HAM LAKE, MN. 55304

PRELIMINARY NOT FOR CONSTRUCTION

Project No:

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff, P.E.
 Thomas J. Herkenhoff, P.E.
 Date: 07.20.21 Lic. No.: 25522

No.	Date	Description

Project #: 12216911.000
 Drawn By: TJR
 Checked By: TJH
 Issue Date: 07.20.2021
 Sheet Title:

PRELIMINARY
 EROSION CONTROL
 PLAN - NW

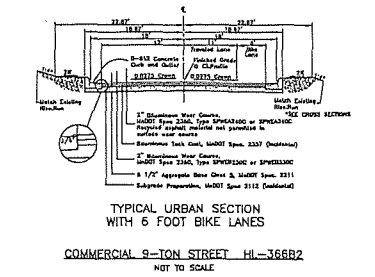
Sheet:
C402

EROSION CONTROL NOTES

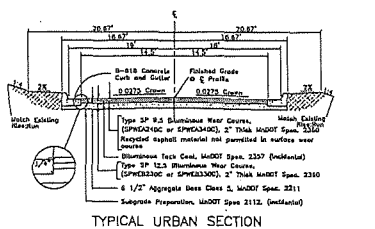
- Owner and Contractor shall obtain MPCA/NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
- Install temporary erosion control measures (silt fences, all fences, and rock construction entrance) prior to beginning any excavation or demolition work at the site.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or drape the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
- All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
- The toe of the silt fence shall be braced in a minimum of 8". The trench backfill shall be compacted with a vibratory plate compactor.
- All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient portions before any up gradient land disturbing activities begin.
- All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 7 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, and stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
- The normal wet perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or drains water around the site, must be stabilized within 200 linear feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 linear feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 7 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
- All riprap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
- All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is a 1 percent or flatter. The normal water level shall be the known elevation of the outlet of the wetland or water body.
- All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
- In areas where contaminated flows occur (such as swales and areas in front of storm catch basins and inlets) the erosion control facilities shall be backed by stabilization measures to protect these facilities from the contaminated flows.
- Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
- All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
- If sediment escapes the construction site, all accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
- All soils tracked onto pavement shall be removed daily.
- All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
- Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
- Contacted sediment, asphalt and concrete millings, roofing debris, paper, plastic, labels, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
- Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Roadside access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
- External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No illegal discharging is allowed onsite.
- All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid waste must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
- Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc) shall be removed from the site.
- All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the basin.
- Contractor shall submit Notice of Termination for MPCA/NPDES permit within 30 days after Final Stabilization.
- Erosion control blanket shall be installed on all slopes 4:1 and steeper road to ditch areas.
- Stabilize vegetation and soil stockpiles within 7 days of rough grading or inactivity.

UTILITY NOTES

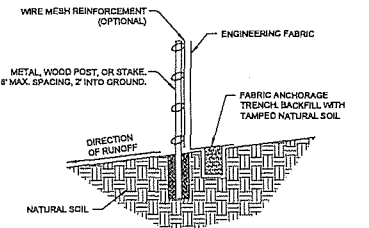
- It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
- All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
- The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
- The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
- Storm sewer requires testing in accordance with Minnesota plumbing code 4714.1109 where located within 10 feet of waterline or the building.
- HOPE storm sewer piping shall meet ASTM F2306 and fittings shall meet ASTM D3212 (joint pressure test, installation shall meet ASTM C232).
- All RCP pipe shown on the plans shall be MNDOT spec 4.



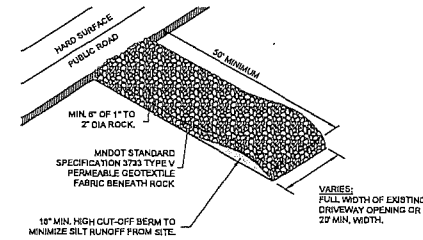
HAM LAKE TYPICAL SECTION - 36' ROADWAY (BUCHANAN ST NE / POLK ST NE) NOT TO SCALE



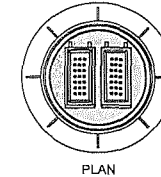
HAM LAKE TYPICAL SECTION - 32' ROADWAY (166TH AVE NE / 167TH AVE NE FILLMORE ST) NOT TO SCALE



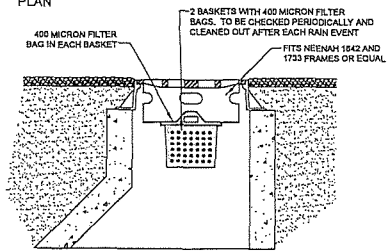
SILT FENCE INSTALLATION DETAIL NOT TO SCALE



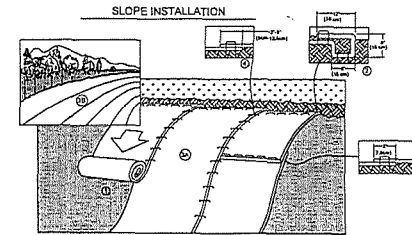
ROCK CONSTRUCTION ENTRANCE NOT TO SCALE



FILTER AREA (OVERFLOW AREA)	5.65 FT ²
MAXIMUM OVERFLOW RATE (@ 7\"/>	



INFRA SAFE INLET PROTECTION DEVICE (OR EQUAL) NOT TO SCALE



- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP), INCLUDING ANY NECESSARY AMENDMENT OF LIMES, FERTILIZER, AND DEE. NOTE: HIGH NITROGEN CELLULOSE DO NOT BE PREPARED AREA. CELLULOSE MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S AT A 6\"/>

*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6\"/>



Category 4 Erosion Control Blanket: North American Green 135D erosion control blanket or approved equal.	Bottom Net Polypropylene
Top Net Polypropylene	1.5 lbs/1,000 ft ²
(0.73 kg/100 m ²) approx. wt.	(0.73 lbs/1,000 ft ²) approx. wt.
Straw Fiber	Thread
0.50 LB/50' (0.27 KG/1M)	Photodegradable

Staples/Anchors: The type of anchors used to secure the blanket to the ground shall be Steel wire 1/8\"/>

EROSION CONTROL BLANKET NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

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 55307-1444
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 16800 HWY. 66 NE
 HAM LAKE, MN 55304

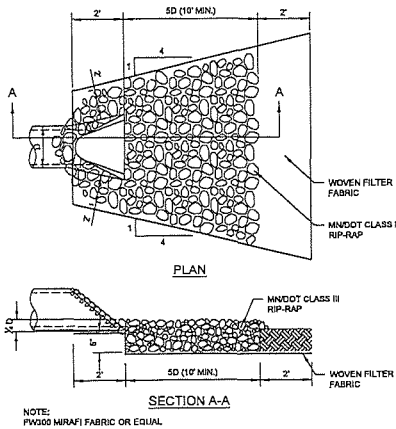
CREEKSIDE FARMS DEVELOPMENT
 HAM LAKE, MN 55304

Thomas J. Hultsch
 Date: 07.20.21 Lic. No: 25292

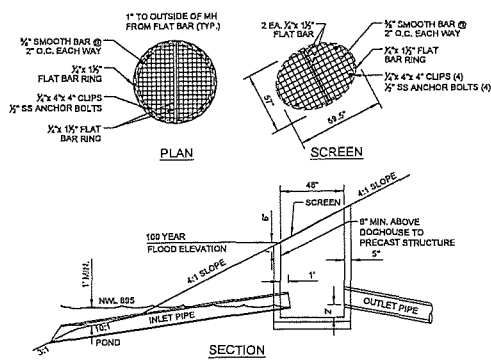
Rev.	Date	Description

PROJECT: 12216011.000
 DRAWN BY: TJK
 CHECKED BY: TJK
 ISSUE DATE: 07.20.2021
 SHEET TITLE: PRELIMINARY TYPICAL SECTIONS AND DETAILS

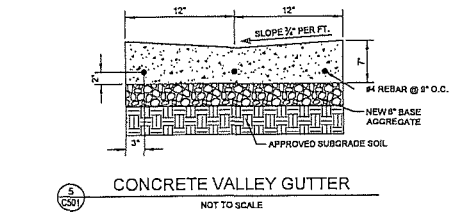
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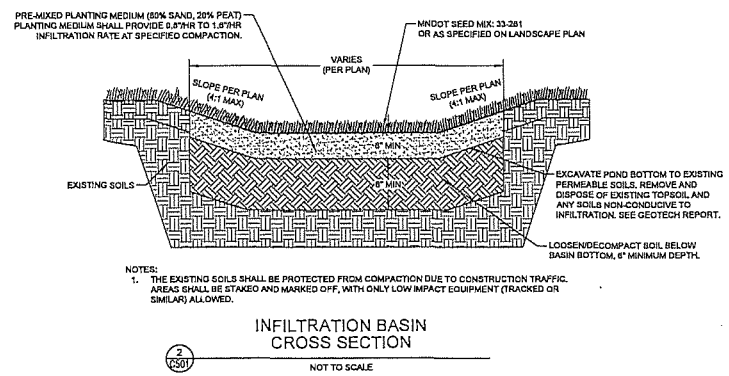
1 RIP-RAP AT OUTLETS
NOT TO SCALE



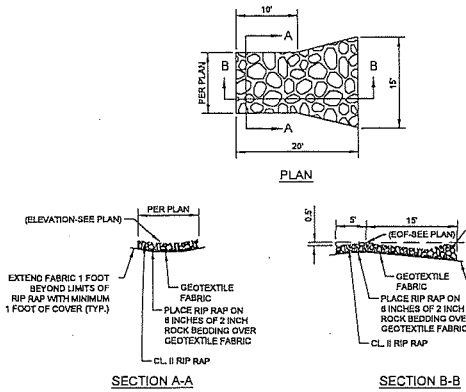
3 POND SKIMMER STRUCTURE
NOT TO SCALE



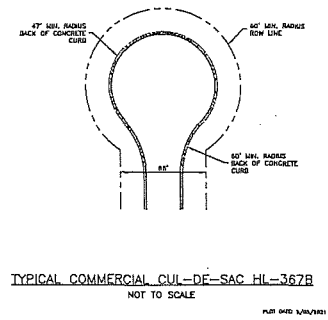
5 CONCRETE VALLEY GUTTER
NOT TO SCALE



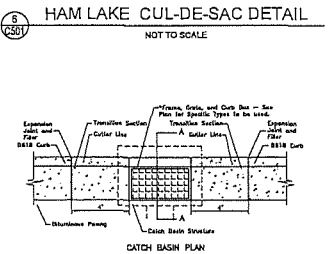
2 INFILTRATION BASIN CROSS SECTION
NOT TO SCALE



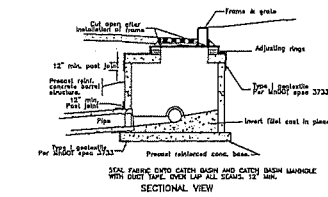
4 TYPICAL RIP RAP WEIR OVERFLOW
NOT TO SCALE



6 TYPICAL COMMERCIAL CUL-DE-SAC HL-367B
NOT TO SCALE



7 RECTANGULAR CATCH BASIN HL-458C
NOT TO SCALE



8 FABRIC AROUND CATCH BASIN HL-463
NOT TO SCALE

B HAM LAKE FABRIC AROUND CATCH BASIN DETAIL
NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

Project No. C501

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Harkness, P.E.
Date: 07.20.21 Lic. No.: 25520

Rev.	Date	Description

Project #: 2218011.000
 Drawn By: TJH
 Checked By: TJH
 Issue Date: 07.20.2021
 Sheet Title:

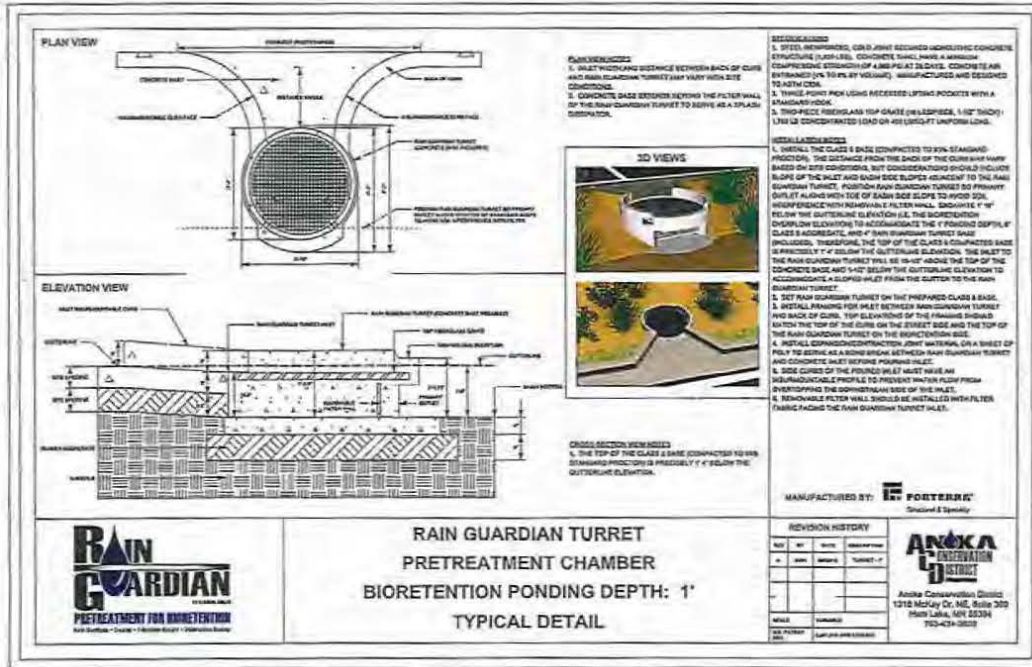
PRELIMINARY
TYPICAL SECTIONS
AND DETAILS

C501

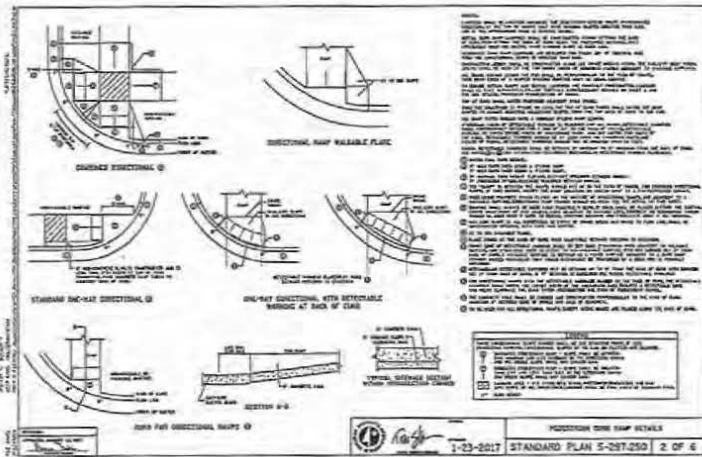
Larson Engineering, Inc.
 816 W. St. Germain Street
 Suite 208
 3207 74, 5844
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JESSE OSBORNE, CSF DEVELOPMENT, LLC
 18600 HWY. 65 NE
 HAM LAKE, MN 55304

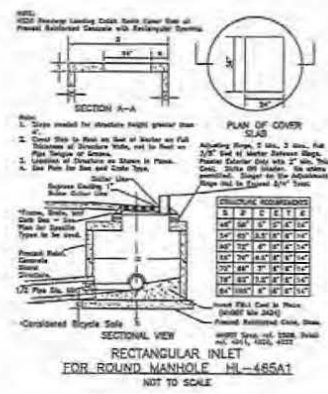
CREEKSIDE FARMS DEVELOPMENT
 HAM LAKE, MN 55304



RAIN GUARDIAN DETAIL
NOT TO SCALE



MNDOT CURB RAMP DETAIL
NOT TO SCALE



HAM LAKE RECTANGULAR INLET FOR ROUND MANHOLE DETAIL
NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

Larson Engineering, Inc.
816 W. St. Carlton Street
Suite 200
320714.984
www.larsoneng.com

JESSE OSBORNE, CSF DEVELOPMENT, LLC
1800 HWY. 65 NE
HAM LAKE, MN 55304

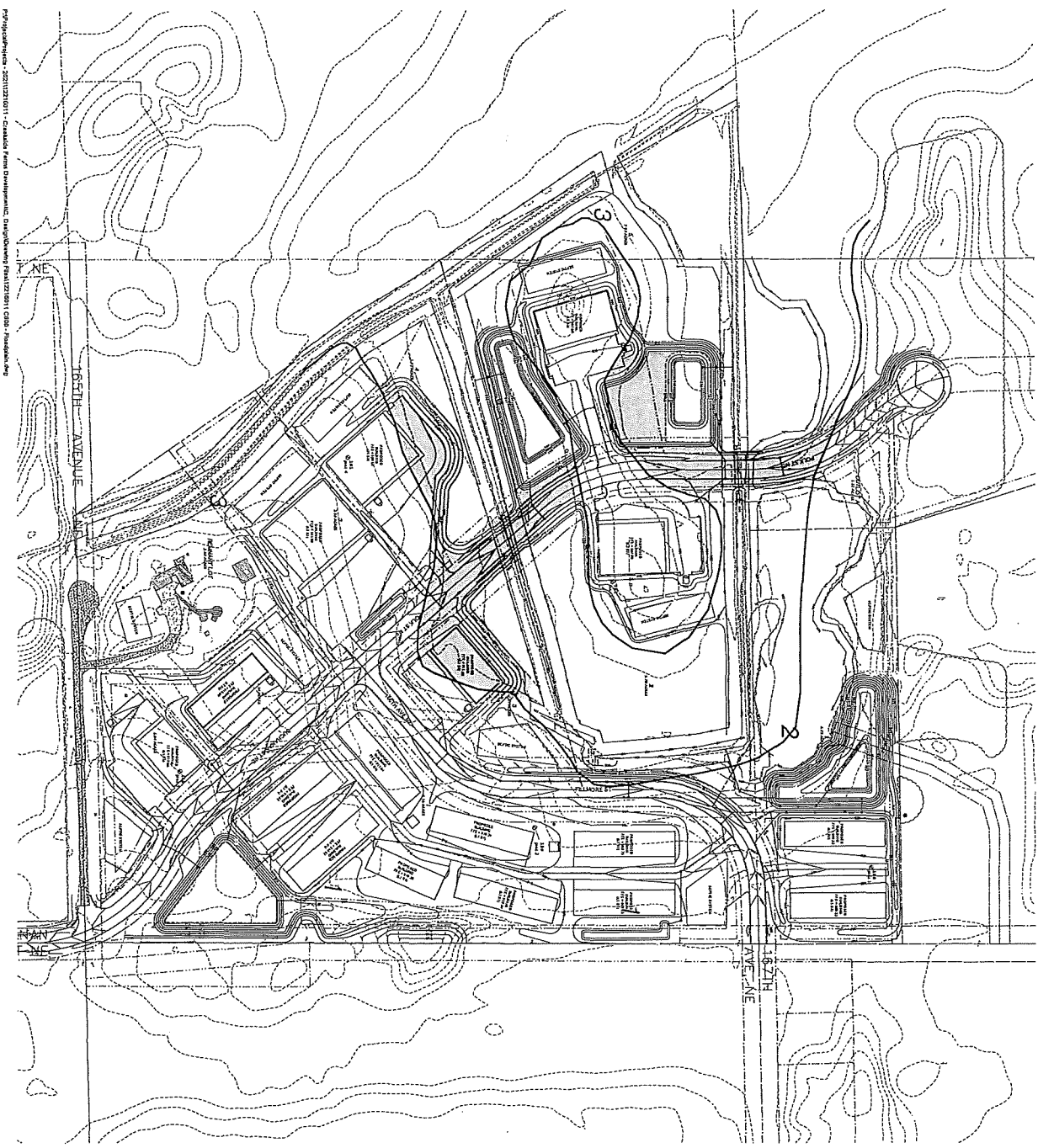
CREEKSIDE FARMS DEVELOPMENT
1444 LAKE, MN 55304

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Thomas A. Heilmann, P.E.
Date: 07/25/21 Lic. No.: 25529




Rev.	Date	Description

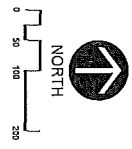
Project #: 2218811.020
Created by: LPH
Checked by: TAP
Issue Date: 07/25/2021
Sheet Title:
PRELIMINARY TYPICAL SECTIONS AND DETAILS
Sheet No:
C502



Project: Creekside Farms Development, LLC
 Date: 07/23/2021
 Scale: 1" = 100'

IMPACT LEGEND

- 
 FLOODPLAIN ELEVATION PER COOK CREEK WATERSHED DISTRICT - 003.88
- 
 EXISTING FLOODPLAIN ELEVATION BOUNDARY LINE AT ELEV. 599.8
- 
 FLOODPLAIN STORAGE VOLUME IMPACT AREA - 1.447 CF



PRELIMINARY NOT FOR CONSTRUCTION

C600

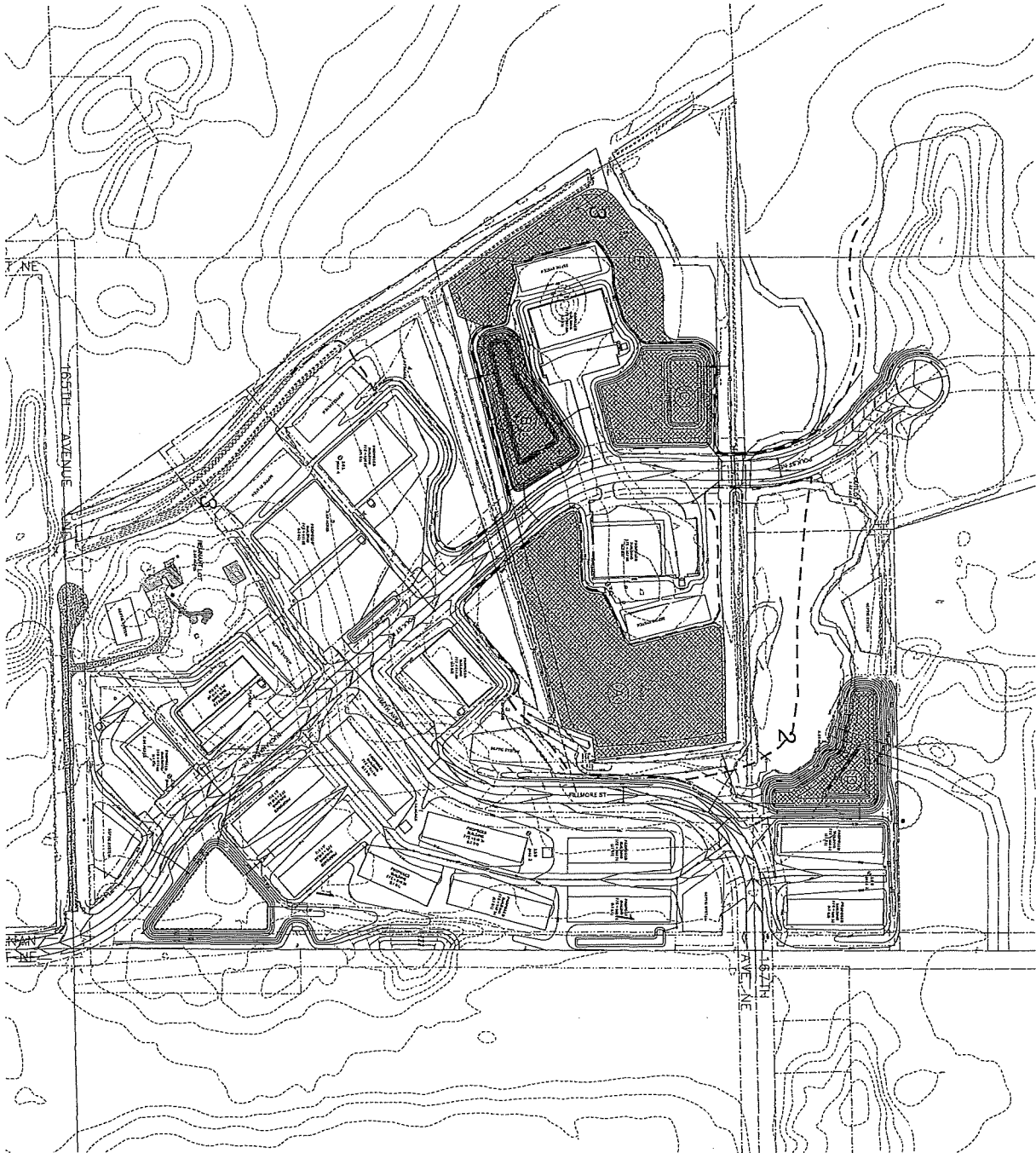
PROJECT: CREEKSIDE FARMS DEVELOPMENT, LLC
 SHEET TITLE: PRELIMINARY FLOOD PLAIN IMPACT
 SHEET NO.: 07/23/2021
 CHECKED BY: JAH
 DATE: 07/23/2021
 DRAWN BY: JAH
 DATE: 07/23/2021
 PROJECT NO.: 20210011000

PROJECT TITLE:
 CREEKSIDE FARMS DEVELOPMENT, LLC
 HAM LAKE, MN. 55304

CLIENT:
JESSE OSBORNE, CSF DEVELOPMENT, LLC
 16900 HWY. 65 NE
 HAM LAKE, MN 55304

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 320.774.1844
 www.larsonengr.com

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MITIGATION LEGEND

- FLOODPLAIN ELEVATION PER COON CREEK WATERSHED DISTRICT - 509.88
- PROPOSED FLOODPLAIN ELEVATION BOUNDARY LINE AT ELEV. 509.8
- ▨ FLOODPLAIN COMPENSATORY STORAGE VOLUME
- ▨ MITIGATION AREA = 1,299 CV

NOTE: COMPENSATORY FLOOD STORAGE VOLUME WITHIN PROPOSED DEVELOPMENT IS EQUAL TO THE VOLUME COMPENSATED BETWEEN THE PROPOSED FLOODPLAIN ELEVATION AND THE FLOODPLAIN ELEVATION BOUNDARY LINE AT ELEV. 509.8.

FLOODPLAIN STORAGE VOLUME IMPACT = 7,447 CV

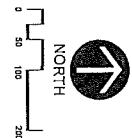
COMPENSATORY STORAGE VOLUME = 7,299 CV

AREA "A" = 1,176 CV
 AREA "B" = 1,088 CV
 AREA "C" = 1,388 CV
 AREA "D" = 1,777 CV

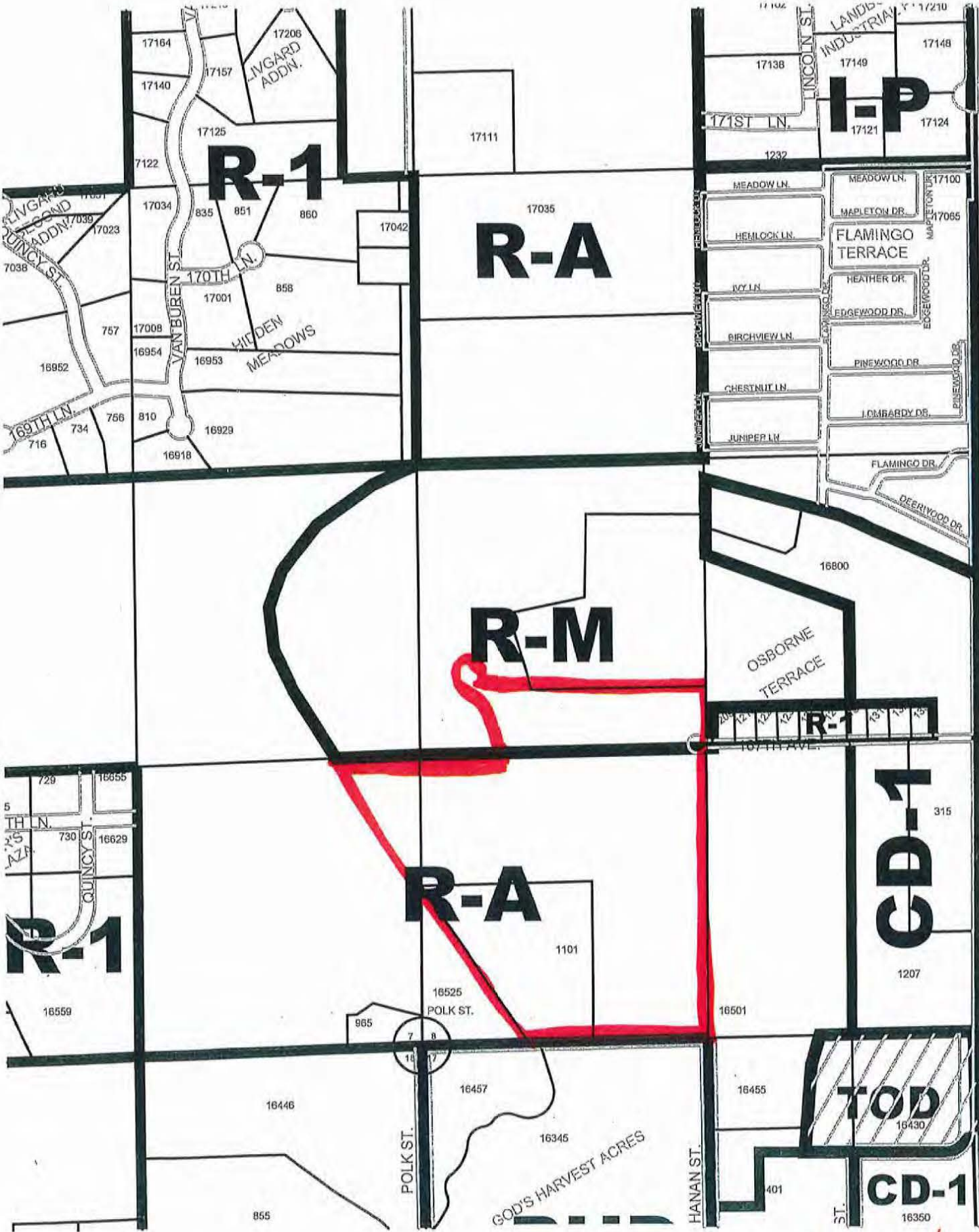
TOTAL COMPENSATORY STORAGE PROVIDED = 7,299 CV

7,299 CV + 7,447 CV (IMP) = 14,746 CV (TOT)

PRELIMINARY NOT FOR CONSTRUCTION



<p>C601</p> <p>PRELIMINARY FLOOD PLAIN MITIGATION</p>	<p>Project Title:</p> <p>CREEKSIDE FARMS DEVELOPMENT</p> <p>HAM LAKE, MN. 55304</p>	<p>Client:</p> <p>JESSE OSBORNE, CSF DEVELOPMENT, LLC</p> <p>16800 HWY. 65 NE HAM LAKE, MN 55304</p>	<p>Client:</p> <p>Larson Engineering, Inc.</p> <p>816 W. St. Germain Street Suite 308 St. Cloud, MN 56301 320.774.1944 www.larsonengr.com</p> <p>© 2011 Larson Engineering, Inc. All rights reserved.</p>
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STATE TRUNK HIGHWAY NO. 65

STATE TRUNK HIGHWAY NO. 65

1" = 600'

Tom Collins

From: Joseph Murphy <joseph.murphy@carsoncs.net>
Sent: Wednesday, March 4, 2020 1:42 PM
To: Tom Collins
Cc: Jennifer Bohr
Subject: RE: Proposed Creekside Farms commercial development

Hi Tom,

I have had a chance to review the proposed heated storage/"man-caves" and based on the proposed use, as I understand it, I believe this would be permissible under the code.

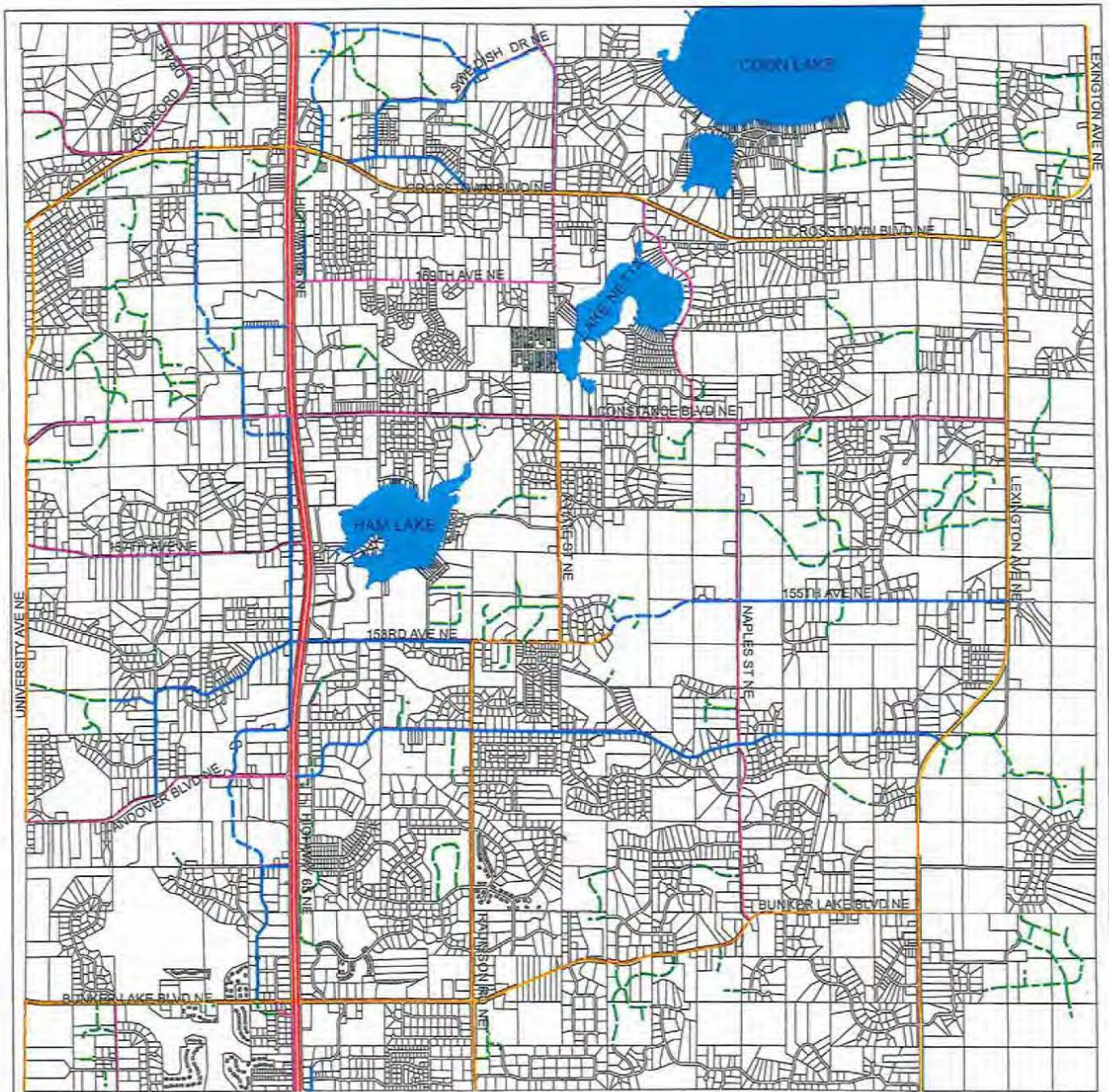

Assuming the lots are successfully rezoned to CD-2, then what is being proposed would best be considered a self-storage facility under a conditional use. According to HL code 9-220-3(c), conditional use in CD-2 includes: "Self-storage facilities, but not including the limitations and conditions imposed for such facilities as found in Article 9- 220.2 (c)."

Since there are not limitations and conditions imposed by the code for CD-2 self-storage facilities (like there are for CD-1 self-storage facilities), the city council can set reasonable conditions for the use as part of the conditional use permitting process. At a minimum, these conditions should prohibit the use of the storage units as a residence/dwelling unit. Like any type of self-storage unit, the city would not be regulating what customer items are being stored or how those items are being used or accessed. Reasonable conditions could, however, address limitations on social gatherings, noise, etc.

I agree that zoning as a PUD would not be a good fit, as that requires the primary use to be residential, which I assume, would not be the desire of the council for this proposed location. Let me know if you have additional questions, or if there is other information that you want me to review.

Thanks,

Joseph Murphy
Carson, Clelland & Schreder
6300 Shingle Creek Parkway, Suite 305
Minneapolis, MN 55430
(763)-561-2800


**HAM LAKE,
MINNESOTA**

**FUTURE ROADWAY
CLASSIFICATION**

LEGEND

- Principal Arterial
- Minor Arterial
- Major Collector
- Minor Collector
- Proposed Arterial
- Proposed Major Collector
- Proposed Minor Collector
- Proposed Local

0 2,100 4,200 8,400 Feet



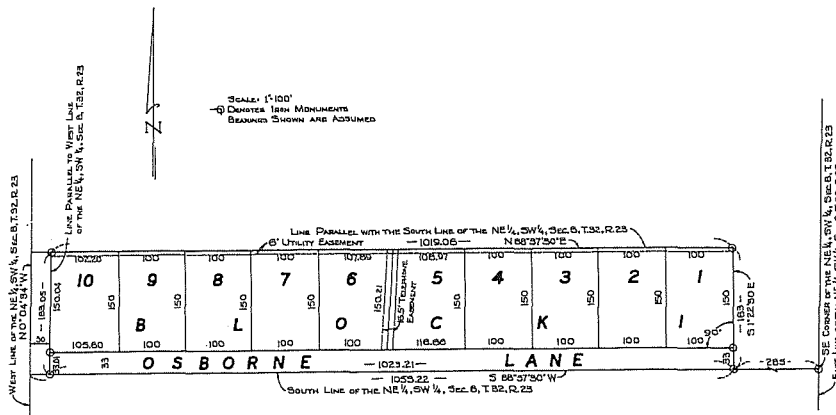
MAP DATE: 7/30/2021



OSBORNE TERRACE

TOWNSHIP OF HAM LAKE

ANOKA COUNTY, MINNESOTA



KNOW ALL MEN BY THESE PRESENTS: That we, Walter F. Osborne and Loretta H. Osborne, his wife, owners and proprietors of the following described property situate in the State of Minnesota and County of Anoka to-wit: That part of the Northeast 1/4 of the Southwest 1/4 of Section 6, Township 32, Range 23 described as follows: Commencing at a point on the South line of said Northeast 1/4 of the Southwest 1/4 distant 285 feet West from the Southeast corner of said Northeast 1/4 of the Southwest 1/4; thence North at right angles to said South line of the Northeast 1/4 of the Southwest 1/4 a distance of 183 feet; thence West parallel with the South line of the Northeast 1/4 of the Southwest 1/4 to its intersection with a line drawn parallel with and distant 30 feet East as measured at right angles from the West line of said Northeast 1/4 of the Southwest 1/4; thence South along the last mentioned parallel line to the South line of said Northeast 1/4 of the Southwest 1/4; thence East along the South line of said Northeast 1/4 of the Southwest 1/4 to the point of beginning.

Have caused the same to be surveyed and platted as OSBORNE TERRACE and do hereby donate and dedicate to the public for public use forever the Lane as shown on the annexed plat. Also subject to easements for utility purposes and for underground telephone cable as shown on the annexed plat.

In witness whereof we have hereunto set our hands and seals this 5th day of June A.D. 1961.

In the presence of:

Walter F. Osborne
 Walter F. Osborne

Loretta H. Osborne
 Loretta H. Osborne

STATE OF MINNESOTA } ss
 COUNTY OF ANOKA

On this 5th day of June A.D. 1961, before me, a Notary Public within and for said County and State, personally Walter F. Osborne and Loretta H. Osborne, his wife, to me personally known to be the persons described in and who executed the foregoing instrument and they affirm and acknowledge that they executed the same as their own free act and deed.

Walter F. Osborne
 Notary Public, Anoka County, Minnesota
 My commission expires Jan. 30 1965

I hereby certify that I have surveyed and platted the land described in the dedication on the plat as OSBORNE TERRACE; that the plat is a correct representation of said survey; that all distances are correctly shown on said plat; that the monuments for the guidance of future surveys have been correctly placed in the ground as shown; that the outside boundaries are correctly designated on said plat; and that there are no wet lands or public highways to be designated on said plat other than are shown thereon.

Norman C. Hoium
 Registered Land Surveyor, Minn. Reg. No. 4427

STATE OF MINNESOTA } ss
 COUNTY OF HENNEPIN

Above certificate subscribed and sworn to before me, a Notary Public within and for said County and State, on this 13th day of June A.D. 1961.

Corretta M. Hoium
 Notary Public, Hennepin County, Minnesota
 My Commission Expires April 27, 1966

Recommended for approval this 5th day of June A.D. 1961.

E. J. Lundelius
 County Highway Engineer, Anoka County, Minn.

This plat approved as to form and execution on this 3rd day of June A.D. 1961.

Robert D. Johnson
 County Attorney, Anoka County, Minnesota

Checked and approved this 5th day of June A.D. 1961.

Robert W. Anderson
 County Surveyor, Anoka County, Minnesota

Annexed plat of OSBORNE TERRACE was approved by the Town Board of the Township of Ham Lake at a regular meeting thereof held this 1st day of June A.D. 1961.

TOWN BOARD OF HAM LAKE
 by Ed Johnson its Chairman
 by Mrs. George Erickson its Clerk

This plat was approved by the Board of County Commissioners of the County of Anoka, State of Minnesota, at a regular meeting thereof held this 5th day of June A.D. 1961.

by Luigi L. Harris its Chairman
 by Harold W. Boyette County Auditor

234470
 OFFICE OF REGISTER OF DEEDS
 STATE OF MINNESOTA, COUNTY OF ANOKA } ss
 I hereby certify that the within instrument was filed in this office for record on the 5th day of June A.D. 1961 as 138 Book 211, and was duly recorded in book 211 page 138.

Christina Schmitt
 Register of Deeds
 By Margaret Russell Deputy

DEED TAX PAID \$1.10
 RECEIVED
 DEED TAX PAID \$1.10
 RECEIVED

Deed Tax Paid \$ 1.10
 Received of
 WALTER L. BOYETTE
 Anoka County Treasurer
 this 5th day of June 1961

Deed tax hereon due \$ 1.10

TAXES PAID
 I HEREBY CERTIFY THAT TAXES FOR THE YEAR 1960 ON THE LANDS DESCRIBED WITHIN ARE PAID

Walter L. Boyette
 County Treasurer

Walter L. Boyette
 County Treasurer

N.C. HOIUM AND ASSOCIATES, INC.
 LAND SURVEYORS

Tom Collins

From: Joseph Murphy <joseph.murphy@carsoncs.net>
Sent: Monday, March 23, 2020 7:22 AM
To: Tom Collins
Subject: RE: Proposed Creekside Farms commercial development

Hi Tom,

I agree that section 10-302F of the city code may apply here, if the soils have been previously disturbed or compacted by activities prior to this application by a prior owner/developer. It would be incumbent upon the developer to show, following the soil boring analysis, that the soils have been so disturbed or compacted. In that scenario, the city council may, in its discretion, allow the usage of non-standard systems.

Thanks,

Joseph Murphy
Carson, Clelland & Schreder
6300 Shingle Creek Parkway, Suite 305
Minneapolis, MN 55430
(763)-561-2800

Tom Collins

From: Jesse Osborne <jesse@storageworldmn.com>
Sent: Thursday, July 22, 2021 1:32 PM
To: Tom Collins
Cc: jrud@egrud.com; Matt Davich; Thomas Herkenhoff; David Krugler
Subject: Fwd: Lines of site disturbance letter
Attachments: safe.jpeg

Tom,

This land has been in our Family for a very long time and every square inch has been farmed in some sort of way. Back in the 1800s my Great Great Grandfather (Walter Osborne Sr) had a Company called Osborne and Clark Lumber Company at that time he and his Father logged this whole area, their Saw Mill was where one of our shops sits today. Over the years this site has been clear cut for lumber, mined for fill to be used on adjacent properties, and the soil has been worked and regraded on many occasions. I included a picture of the safe my Grandfather gave to me that belonged to my Great Great Grandfather.

Thanks,
Jesse Osborne
651-403-0782

**Tradewell Soil Testing, Inc.
18330 Dahlia Street NW
Cedar, MN 55011**

July 7th, 2021

RFC Engineering, Inc.
13635 Johnson Street NE
Ham Lake, MN 55304
Attn. David Krugler

Re: Creekside Farms- Soil disturbance

Dear David,

The soils on the lower half of Lot 1 Block 1 and East part of Lot 3 Block 2 have soils that have been removed from the site. Soils do not appear to be compacted in these areas based on borings performed in these areas.

The other lots that have had crops on them do not appear to have been disturbed (compacted, filled or excavated) other than normal farming practices. The remaining lots have septic areas in wooded areas that are natural undisturbed soils.

However, there are some septic areas that may require "Type 3" systems due to less than 12" of depth to redox (mottled soil). I believe that there is something in the Ham Lake ordinance (10- 302F) that allows commercial properties to have "Type 3" systems on them with a monitoring and mitigation plan in place.

Sincerely,



Mark Tradewell
MPCA #307

SKETCH AND DESCRIPTION

~for~ CREEKSIDE FARMS DEVELOPMENT

EASEMENT DESCRIPTION

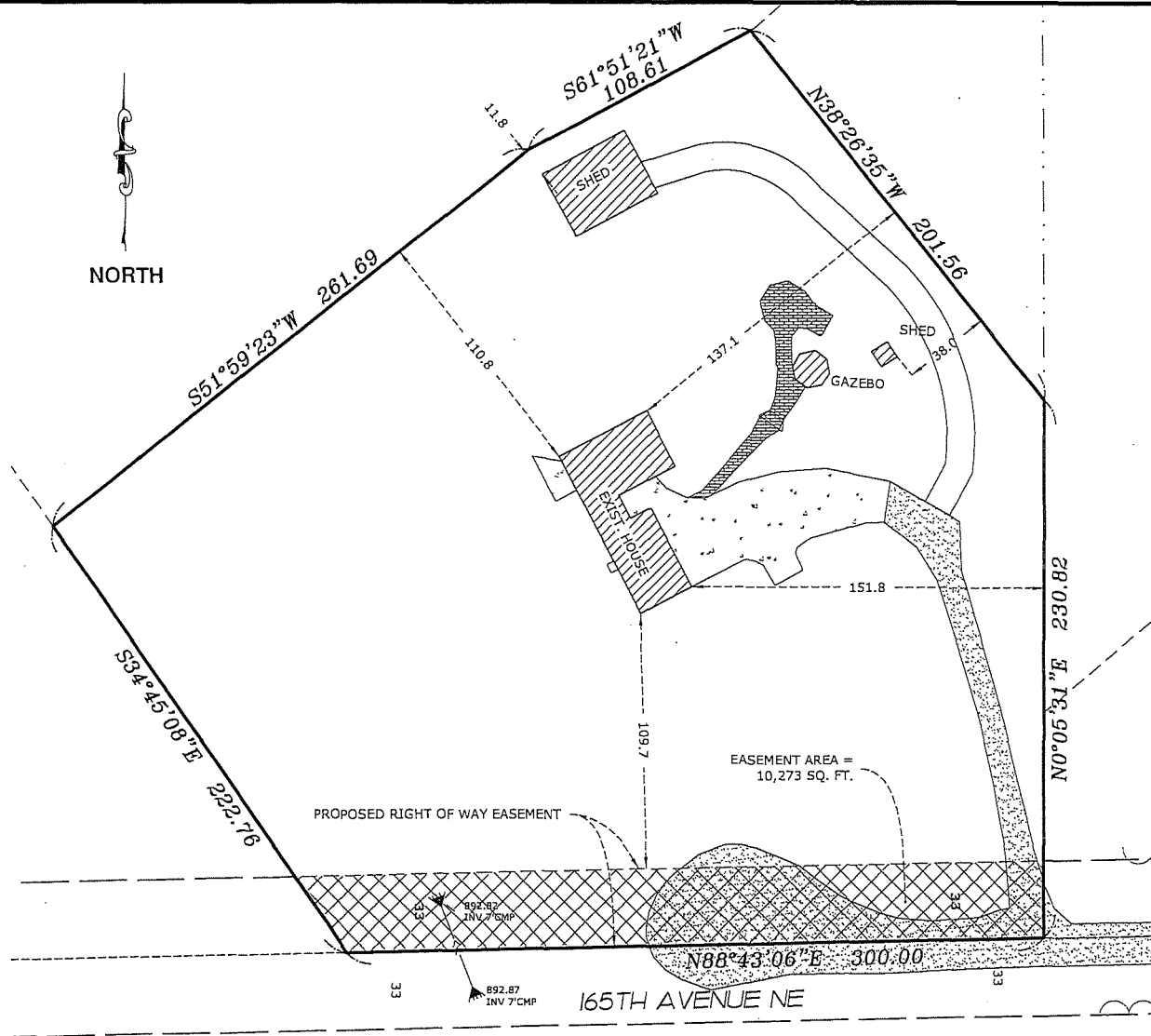
The South 33 feet of that part of the Southwest Quarter of the Southwest Quarter, Section 8, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at the Southwest corner of said Southwest Quarter of the Southwest Quarter; thence North 88 degrees 43 minutes 06 seconds East, assumed bearing along the South Line of said Southwest Quarter of the Southwest Quarter, a distance of 500.00 feet to the point of beginning of the parcel to be described; thence continuing North 88 degrees 43 minutes 06 seconds East, a distance of 300.00 feet; thence North 00 degrees 05 minutes 31 seconds East and parallel with the West line of said Southwest Quarter a distance of 230.82 feet; thence North 38 degrees 26 minutes 35 seconds West, a distance of 201.56 feet; thence South 61 degrees 51 minutes 21 seconds West, a distance of 108.61 feet; thence South 51 degrees 59 minutes 23 seconds West, a distance of 261.69 feet to the point of beginning; thence South 34 degrees 45 minutes 08 seconds West from the point of beginning; thence South 34 degrees 45 minutes 08 seconds East, a distance of 222.76 feet to the point of beginning.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.


 JASON E. RUD

Date: 5/14/2021 License No. 41578



GRAPHIC SCALE



1 INCH = 50 FEET



DENOTES EASEMENT AREA

DRAWN BY:	CMB	JOB NO:	19444PP	DATE:	05/14/21
CHECK BY:	JER	FIELD CREW:			
1					
2					
3					
NO.	DATE	DESCRIPTION	BY		



NOTICE OF PERMIT APPLICATION STATUS

Project: Creekside Farms

Date: June 15, 2021

Applicant: Jesse Osborne
16800 Hwy 65
Ham Lake, MN 55304

Permit Application#: 21-033

Purpose: 7 lot commercial development, 10 building storage facility, streets and stormwater infrastructure

Location: West of 16800 Hwy 65, Ham Lake

At their meeting on June 14, 2021, the Board of Managers of the Coon Creek Watershed District **conditionally approved** the above referenced project with 5 conditions and 3 stipulations: **This is NOT a permit.**

ISSUES/CONCERNS:

ISSUE	NEED
Escrows: \$2,000 + (33.3 ac * \$500/ac = \$18,650.00	1. Receipt of escrows.
Stormwater & Hydraulics: The applicant is not meeting the volume management requirement equivalent to infiltrating runoff from the first inch of precipitation. The applicant is meeting the requirement to the maximum extent practicable.	No action needed.
Maintenance: It is unknown who will be responsible for the inspection and maintenance of stormwater facilities. A maintenance agreement has not been executed. The applicant has not submitted a Maintenance Plan for each Stormwater Treatment Practice.	2. Provide an O&M Agreement that meets District requirements.
Wetlands: The TEP has not yet approved the wetland mitigation plan.	3. Provide TEP approval of Replacement Plan. 4. Provide proof of purchase for wetland bank credits.

<p>Wildlife: The proposed project may include endangered or threatened species, rare natural communities, colonial waterbird nesting sites, migratory waterfowl concentration areas, deer wintering areas or wildlife travel corridors.</p>	<p>5. Provide note on plans that contractors must receive the DNR flyers/Fact Sheets regarding Blanding's Turtles.</p>
--	--

To secure Board review and obtain your permit, the District must receive:

Conditions:

1. Receipt of Escrows.
2. Provide an O&M Agreement that meets District requirements.
3. Provide TEP approval of Replacement Plan.
4. Provide proof of purchase for wetland bank credits.
5. Provide note on plans that contractors must receive the DNR flyers/Fact Sheets regarding Blanding's Turtles.

After issuance, the permit will include the following stipulations that need to be fulfilled before permit closeout:

Stipulations:

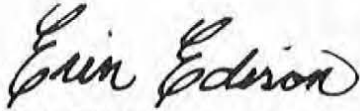
1. Submittal of as-builts for the following stormwater management practices, including volume and proof of installation for hydrodynamic separators.

Stormwater Treatment Practices	Number
Infiltration Basins	3
Wet Pond	3
Sump Manhole w/ SAFL Baffle	6
RainGuardian	1
Outlet Control Structure	5

2. Completion of post construction infiltration tests on basins 4P, 5P and 6P by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
3. If dewatering is required for the construction of the proposed project, provide DNR dewatering permit and well-field location, rates, discharge location, schedule and quantities or a note on plans stating dewatering plans must be submitting to the district 7 days prior to activity for review and approval.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rule 5.1. If you have any questions, please call 763-755-0975.

Sincerely,



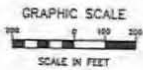
Erin Edison
Water Resource Regulation Coordinator

cc: File 21-033
Ed Matthiesen, Stantec
Eileen Weigel, Stantec
Tom Collins, Ham Lake

Note: Please respond to each of these items in writing when resubmitting the revised plans to the District. Resubmittals must include two hard copies and an electronic version sent to permitsubmittals@cooncreekwd.org. **Please submit written responses below the original typed comments, using extra sheets as necessary, addressing comments from the District.** If you have any questions, feel free to contact Erin Edison at (763) 755-0975. Pursuant to Coon Creek rule 7.3 deficiencies must be addressed and resubmitted within 60 days. Failure to do so shall be deemed a withdrawal of the permit application.

S 1/2 SECTION 8, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	23	24	25	11
23	24	25	26	12
31	32	33	34	13
31	32	33	34	14
31	32	33	34	21
31	32	33	34	22
31	32	33	34	23
31	32	33	34	24

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBERS

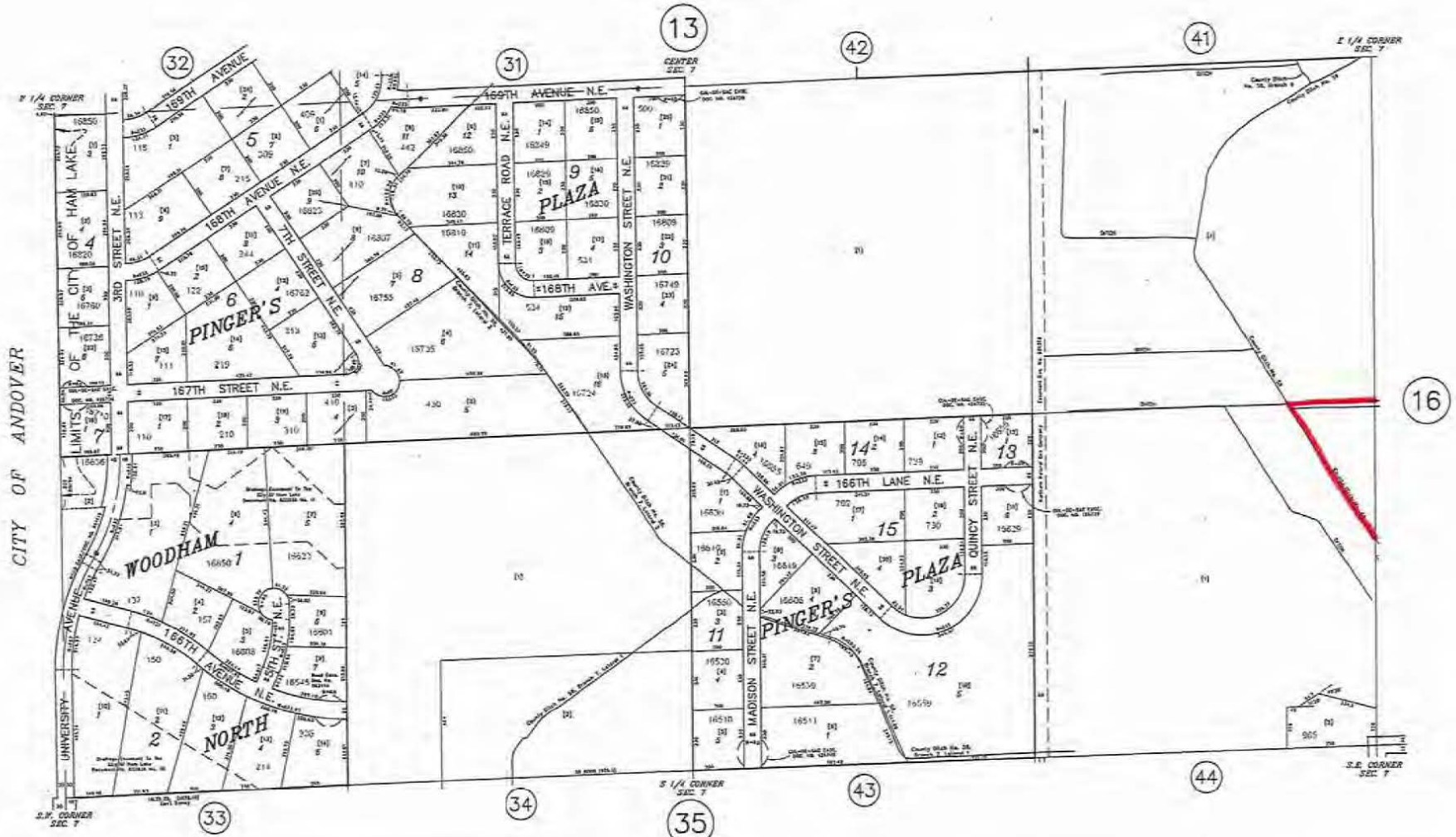
Section	Township	Range	Quarter	Specific
Number	Number	Number	Number	Parcel
XX	XX	XX	XX	XX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS. (1)
EXAMPLE OF PN NUMBER: 0 -32-23-43-0021

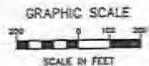
THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

S 1/2 SECTION 7, T. 32, R. 23

CITY OF HAM LAKE



CITY OF ANDOVER



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX


22	21	12	11
23	24	13	14
NORTH HALF OF SECTION			
32	31	42	41
33	34	43	44
SOUTH HALF OF SECTION			

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter	Specific Parcel
XX	XX	XX	XX	XXXXX

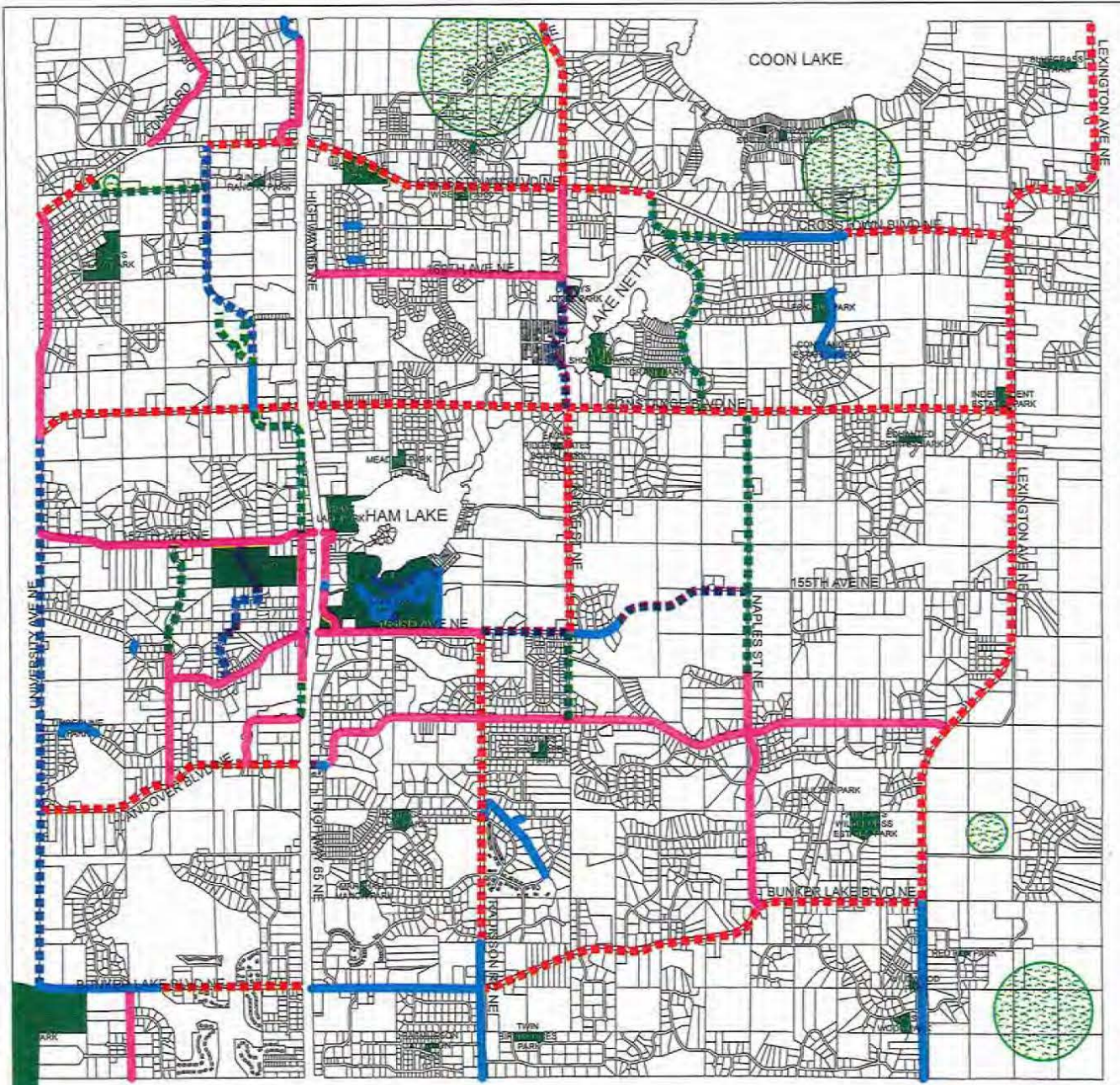
SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: (1)
EXAMPLE OF PIN NUMBER: 07-32-23-43-0007

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.











**HAM LAKE,
MINNESOTA**

**PROPOSED MUNICIPAL
BIKE TRAIL SYSTEM**





LEGEND

-  Existing Bike Lane
-  Existing Bike Path
-  Proposed County Bike Path
-  Proposed Bike Lane/Path
-  Proposed Bike Lane
-  Proposed Bike Path
-  Potential Future Park
-  Existing Park

0 2,200 4,400 8,800 Feet

MAP DATE: 8/3/2021

RFC
Engineering, Inc.
Consulting Engineers

TJ Rose

From: Mitchell Honsa
Sent: Tuesday, June 29, 2021 3:46 PM
To: TJ Rose
Subject: FW: Creekside Farms development Encroachment into GRE Easement

FYI

Mitchell Honsa
Design Engineer

Larson Engineering, Inc.
3524 Labore Road
White Bear Lake, MN 55110-5126
651.481.9120 Office
651.448.0931 Cell
mhonsa@larsonengr.com



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* **From:** MacMillan, Michelle GRE-MG <mmacmillan@GREnergy.com>
Sent: Tuesday, June 29, 2021 3:20 PM
To: Mitchell Honsa <mhonsa@larsonengr.com>
Cc: Thomas Herkenhoff <therkenhoff@larsonengr.com>
Subject: RE: Creekside Farms development Encroachment into GRE Easement

*****EXTERNAL SOURCE ALERT***. Please use proper judgment and caution when opening attachments, clicking links, or responding to this email.**

Mitch,

Your plans have been approved. We will need to send out a crew after grading is completed to verify the elevations were met. We are concerned with the grading by the anchors on #79, if you can push the grading farther from the anchor before cutting that would be better. Please let me know if this is possible.

Can I get a date of approximate completion of this so I can make a note for survey to schedule some time to get me some updated shots?

All good on this one.

Michelle MacMillan

Land Rights Representative
Great River Energy
12300 Elm Creek Boulevard
Maple Grove, MN 55369-4718

Direct: 763-445-5984
Main: 763-445-5000
Fax: 763-445-6784
Cell: 612-845-1204
mmacmillan@GREnergy.com



Please consider the environment before you print this e-mail.

From: Mitchell Honsa <mhonsa@larsonengr.com>
Sent: Wednesday, June 23, 2021 3:23 PM
To: MacMillan, Michelle GRE-MG <mmacmillan@GREnergy.com>
Cc: Arnold, Sherri GRE-MG <sarnold@GREnergy.com>; Thomas Herkenhoff <therkenhoff@larsonengr.com>
Subject: RE: Creekside Farms development Encroachment into GRE Easement

This email was sent by an external sender. Opening attachments or clicking links from untrusted sources may cause damage to you and Great River Energy.

Hi Michelle, I was wondering if you know the current status of our encroachment permit for the development listed above.

Mitchell Honsa
Design Engineer

Larson Engineering, Inc.
3524 Labore Road
White Bear Lake, MN 55110-5126
651.481.9120 Office
651.448.0931 Cell
mhonsa@larsonengr.com



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From: Mitchell Honsa
Sent: Tuesday, June 15, 2021 4:04 PM
To: 'MacMillan, Michelle GRE-MG' <mmacmillan@GREnergy.com>
Cc: Arnold, Sherri GRE-MG <sarnold@GREnergy.com>; Thomas Herkenhoff <therkenhoff@larsonengr.com>
Subject: RE: Creekside Farms development Encroachment into GRE Easement

Hi Michelle and Sherri,

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
MONDAY, MARCH 23, 2020

The Ham Lake Planning Commission met for its regular meeting on Monday, March 23, 2020 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Kyle Lejonvarn, Dave Ringler, Scott Heaton and Jeff Entsminger

MEMBERS ABSENT: Commissioners Jonathan Fisher and Erin Dixon

OTHERS PRESENT: City Engineer Tom Collins and Zoning Official/Building Clerk Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

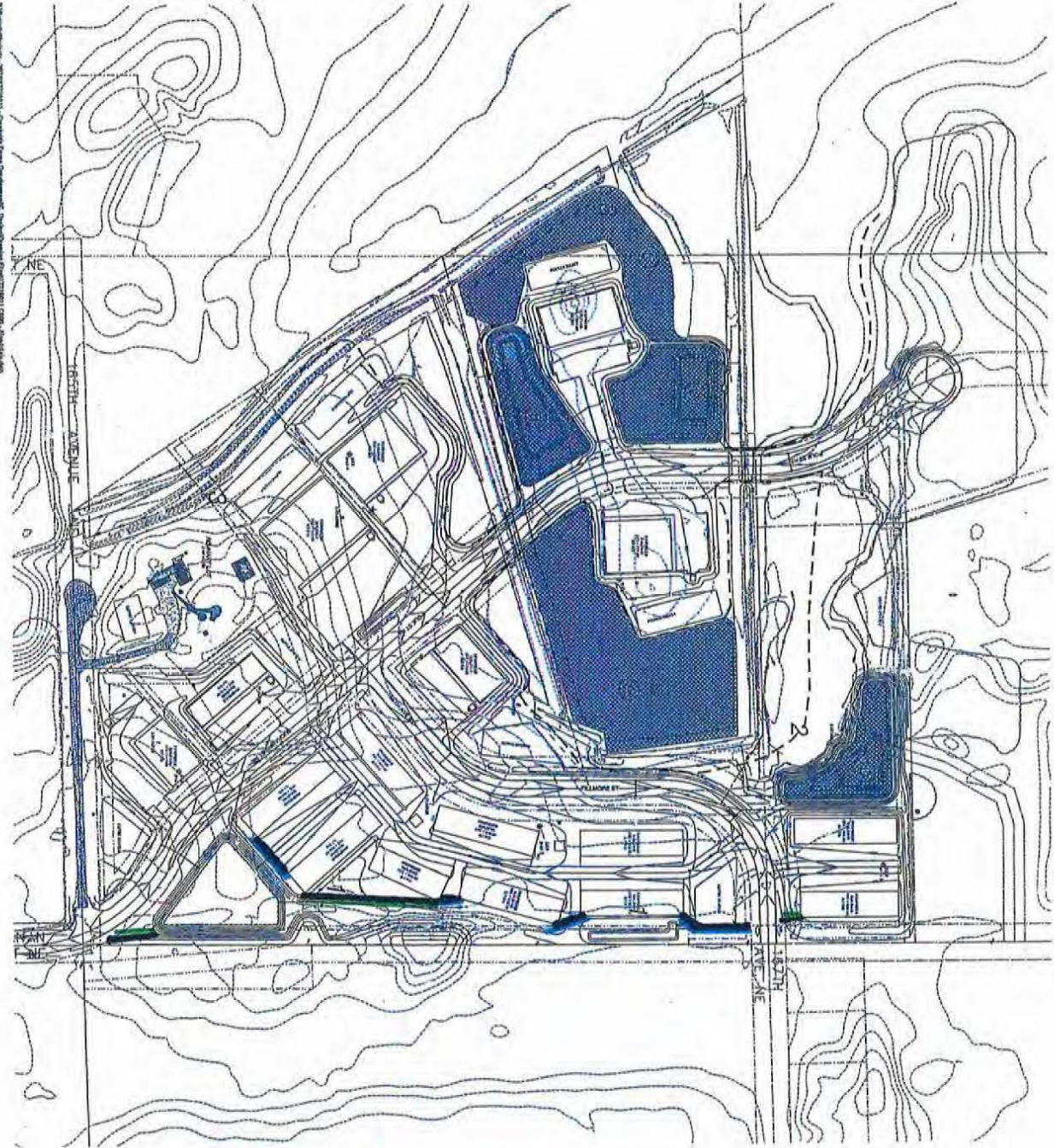
Motion by Pogalz, seconded by Lejonvarn, to approve the minutes of the March 9, 2020 Planning Commission meeting as written. All present in favor, motion carried.

NEW BUSINESS:

Jesse Osborne requesting Sketch Plan approval for Creekside Farms, a 13 lot Commercial Development located in Section 8.

Mr. Jesse Osborne was present. Mr. Osborne stated he is proposing a 13-lot commercial development consisting of commercial lots to be offered for sale and lots with heated storage units for rent. Mr. Osborne stated his sketch plan shows four lots where heated storage units will be built; if demand for heated storage is greater than the capacity offered on the four lots, he may build additional heated storage lots in the development or if demand is less than expected, he may sell the proposed heated storage lots as commercial lots. Mr. Osborne stated the heated storage units will be steel structures with ten rental units each. Mr. Osborne stated the heated storage units will be used to store RV's, boats, collector cars, equipment for small businesses such as lawn care equipment as well as other items. Mr. Osborne stated he wants to install plumbing in each heated storage unit to allow tenants to wash their vehicles and install a restroom. Mr. Osborne stated he intends to create covenants or a contract for each rental unit which will inform tenants that the units cannot be used as living quarters and repair work to vehicles can only be done to personal vehicles stored in the units.

Commissioner Lejonvarn completed the inspection, a copy which is on file. Commissioner Lejonvarn stated this development is next to Storage World and appears to be a good fit for the location. Commissioner Lejonvarn asked Engineer Collins to discuss items noted in his memo of March 19, 2020. Engineer Collins stated the cul-de-sac shown on the western end of 167th Avenue NE in the aerial photo included in the packet is approximately 1,400 feet which exceeds the 1,100-foot maximum length allowed by City Code; the proposed Buchanan Street NE/Polk Street NE connection will remove the existing bulb of the cul-de-sac resolving the issue. There was discussion about limiting the speed and types of traffic that would be permitted on 167th Avenue NE due to neighboring residential properties. The commissioners suggested signage be posted on 167th Avenue NE stating no commercial or truck traffic. Engineer Collins stated Lot 2, Block 3 does not meet the Rectangular Lots requirement of 10-4301.2 of City Code as the interior angle between the southeast and west lot line is less than 60 degrees. Engineer Collins suggested that an adjustment in the lot lines be made for that parcel. Mr. Osborne stated he may be able to obtain some additional land for that parcel so the lot lines can be adjusted. There was discussion on the proposed bike path/lane adjacent to the Buchanan Street NE/Polk Street NE connection identified on the Proposed Municipal Bike Trail System. Engineer Collins explained the right-of-way dedication needed for a bike path versus a bike lane as noted in his memo. Mr. Osborne stated he will review the options and determine the amount of right-of-way he would dedicate for a bike path/lane. Engineer Collins stated a screening exhibit will need to be submitted due to the easterly border of the proposed subdivision abutting residential property (Article 9-220.1e). Engineer Collins stated the March 10, 2020 Concept Plan submitted denotes gray shaded areas where mottling is a minimum of one-foot below the ground elevation. Engineer Collins stated that soil borings have not been received and it is unknown if the soils are undisturbed. Engineer Collins stated the applicant has indicated significant grading was done several years ago with the initial construction of Storage World and/or Flamingo Terrace. Engineer Collins stated the City Attorney's opinion on soil conditions is Article 10-302F, Exemption to Soils Condition, may apply to this development. The City Attorney stated the applicant must show, following soil boring analysis, that the soils have been so disturbed or compacted and if that is shown, the City Council has the discretion to allow the usage of non-standard septic systems. Engineer Collins stated approximately 36,000 cubic yards of excavated material from the adjacent Storage World project will be brought onto the Creekside Farms Commercial Development site to build up the roads and building pads. Engineer Collins stated 167th Avenue NE may not be used for transportation of the material from site to site. **Motion by Lejonvarn, seconded by Entsminger, to recommend approval of the Sketch Plan presented by Jesse Osborne for Creekside Farms, a 13 lot Commercial Development located in Section 8 subject to a 4/5 vote of Council for zoning change from residential to commercial (CD-2), posting of signs regulating traffic types and speed on 167th Avenue NE, modifying the lots lines for Lot 2, Block 3, submission of a screening plan to include screening on the easterly border of the subdivision, submission of soil borings to determine if soils have been disturbed or compacted, receipt of a diagram of the haul route to be used for excavation from the Storage World property to the Creekside Farms subdivision, obtaining Conditional Use Permits for parcels with heated storage units per Article 9-220-3(c), meeting the requirements of the City Engineer as noted in the March 19, 2020 memo for**



Creekside Farms Screenings

1.000 **1.000** **1.000**

NOTE: COMPARATIVE FLOOD STORAGE VOLUME WITHIN FLOOD AREAS IS
 CALCULATED AS THE VOLUME DIFFERENCE BETWEEN THE 100 AND 500 YEAR
 FLOODPLAIN STORAGE VOLUME IMPACT + 7,440 CY
 FLOODPLAIN STORAGE VOLUME IMPACT + 7,440 CY
 COMPARATIVE STORAGE VOLUME + 1,298 CY
 AREA 'A' = 3,838 SQ
 AREA 'B' = 1,288 SQ
 AREA 'C' = 1,288 SQ
 AREA 'D' = 1,288 SQ
 TOTAL COMPARATIVE STORAGE PROVIDED + 1,298 CY
 7,440 CY + 1,298 CY = 8,738 CY

MITIGATION LEGEND

PROPOSED FLOODPLAIN SCREENING LOCATED AT ELEV. 286.4

FLOODPLAIN SCREENING STORAGE VOLUME
 MITIGATION AREA + 1,298 CY

PRELIMINARY NOT FOR CONSTRUCTION

C601

PROJECT: PRELIMINARY FLOODPLAIN MITIGATION

DATE: 08/22/23

SCALE: 1" = 50'

CREEKSIDE FARMS DEVELOPMENT

HAM LAKE, MN, 55304

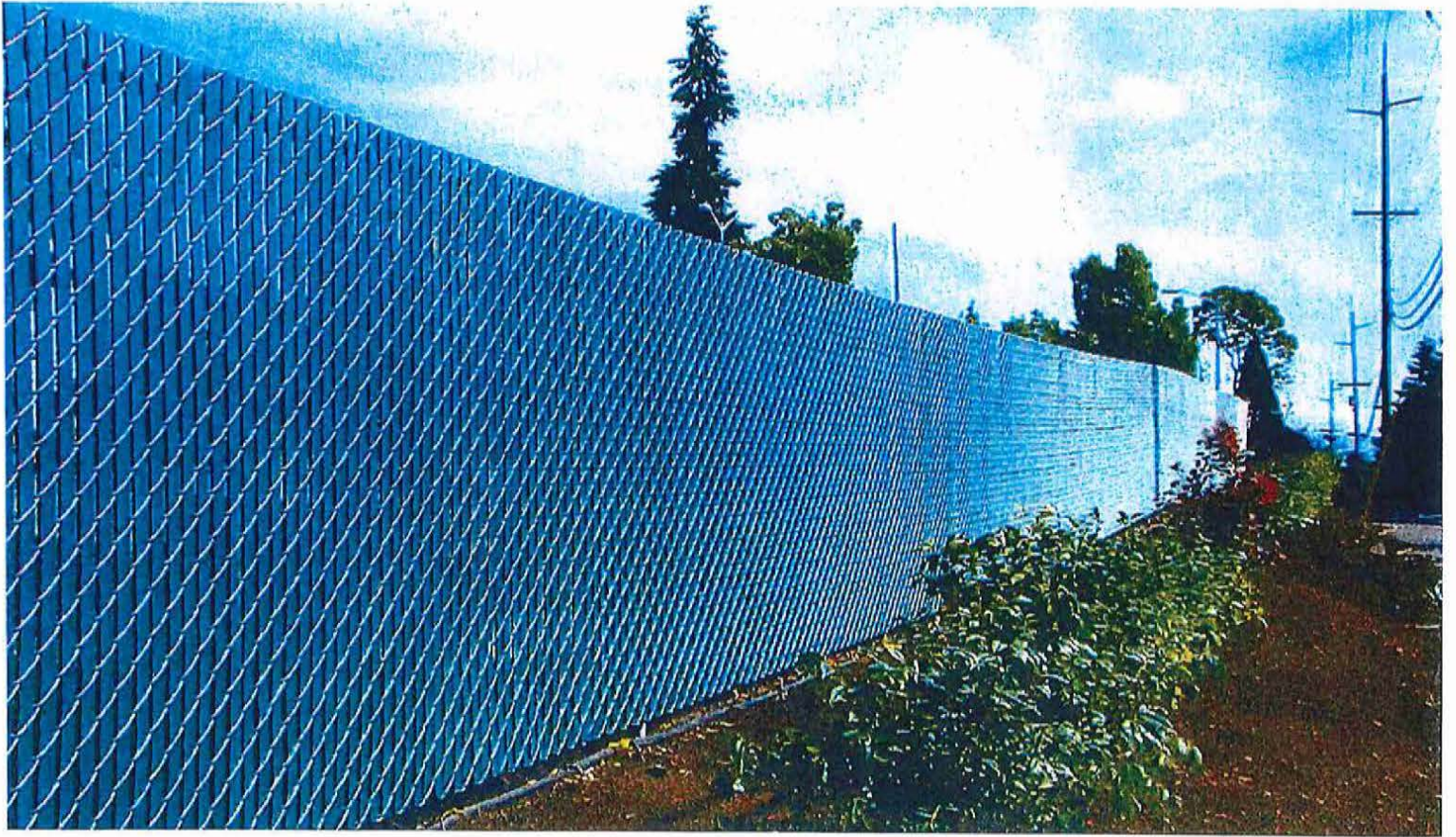
DESIGNED BY: JESSE OSBORNE, CSF DEVELOPMENT, LLC

JESSE OSBORNE, CSF DEVELOPMENT, LLC

16800 HWY. 65 NE
 HAM LAKE, MN 55304

Larson Engineering, Inc.

616 W. St. German Street
 Suite 306
 St. Cloud, MN 56301
 320.774.1944
 www.larsonengr.com

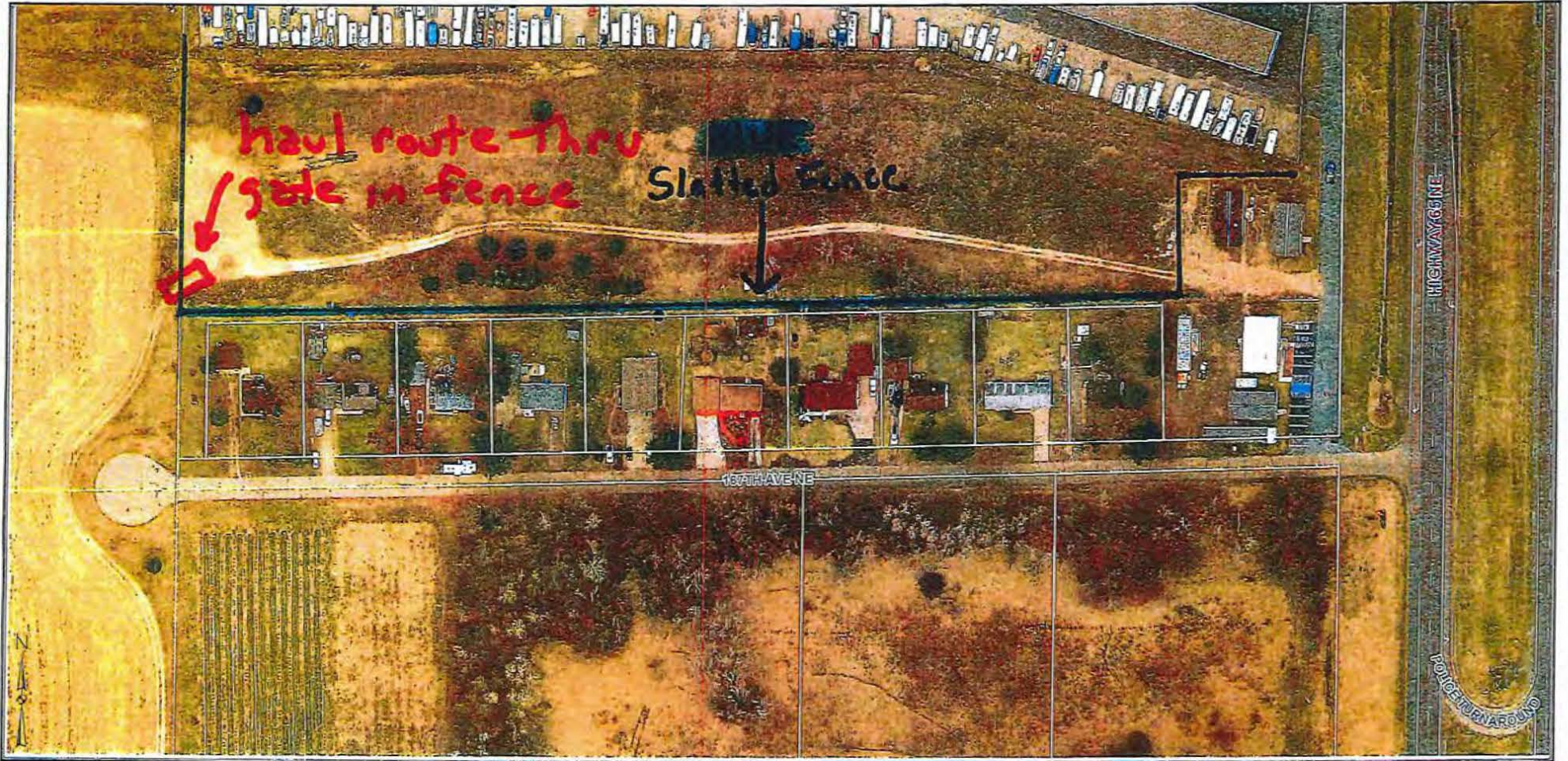


6' tall slatted fence



Pine Tree Screening

Anoka County Parcel Viewer



Parcel Information:

Approx. Acres:
Plat:
Commissioner:

Owner Information:

Storage World Screening

Anoka County GIS

1:1,200

Date: 7/28/2021

Disclaimer: Map and parcel data are believed to be accurate, but accuracy is not guaranteed. This is not a legal document and should not be substituted for a title search, appraisal, survey, or for zoning verification.

ORDINANCE NO. 21-XX

An Ordinance Amending and ARTICLE 11, GENERAL ACTIVITY REGULATIONS, to clarify the definition of signs and to expand the allowed signage within residential districts.

Be it Ordained by the City Council of the City of Ham Lake, Anoka County, Minnesota as follows:

ARTICLE 11, GENERAL ACTIVITY REGULATIONS of the Ham Lake City Code is hereby amended as indicated in the following sections:

11-300 GENERAL PROVISIONS TO ALL SIGNS AND DEFINITION

A "sign" shall mean any device designed to attract attention to a particular object, message, or activity, however, this definition shall not include flags mounted on a pole.

...

11-310.2 Permits Required Except as exempted under Article 11-340 or Article 11-350, no sign shall be erected unless a permit shall have first been obtained from the City.

...

11-340 Standards in Specific Residential Districts

~~No signs shall be permitted in In any area zoned R-1, R-M, R-AH, PUD, RS-1 or RS-2, signs may be erected without first obtaining a permit from the City. Signs in these districts shall comply with the location restrictions outlined in Article 11-310.1 and, except for Neighborhood Monument Signs, shall be except for a) temporary signs that are no greater than six square feet in size, b) permanent signs no greater than six square feet in size on lots with a Home Occupation Permit under Article 9-350, and c) Neighborhood Monument Signs as defined in Article 11-350.4 of this code may be up to 40 square feet in size, as measured on the perimeter of the border of the message displayed (excluding structural components of the sign). Only one sign may be placed on a residential lot, except that if it is a corner lot with two road frontages, one sign may be permitted facing each road. Such signs may be in place for no more time than is necessary to accomplish the intended purpose of the sign. A single "monument" or other sign erected by a neighborhood association or land developer may be placed on private property at any road entrance to the neighborhood, provided that the sign is maintained by the property owner on whose parcel the sign is placed.~~

...

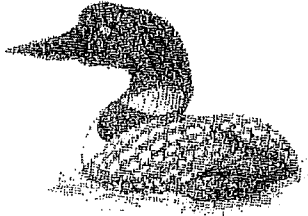
~~**11-350.3 Temporary Neighborhood Signs** Signs meeting the criteria of Article 11-340 shall not require permits.~~

Presented to the Ham Lake City Council on August 16, 2021 and adopted by a _____ vote this ___ day of _____, 2021.

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk

Meeting Date: August 16, 2021



CITY OF HAM LAKE

Staff Report

To: Mayor and Councilmembers
Denise Webster, City Administrator

From: Andrea Worcester, Finance /Human Resource Director

Subject: 2022 Anoka County Sheriff's Law Enforcement Contract and Draft Budget

POLICE CONTRACT

On August 4, 2021 the Mayor Van Kirk, Councilmember Wilken, Administrator Webster and Finance Director Worcester met with Deputy Chief Halweg, Commander Lenzmeier, Lieutenant Schuldt, and Resource Manager Faust with the Anoka County Sheriff's Office to go over the 2022 Law Enforcement Contract. In the meeting it was stated an investigator is needed for the City due to the increase in follow-up needed with policing activity. Currently, the City shares an investigator with the City of Bethel and 90 percent of the investigator's work comes from the City of Ham Lake. When there are occasions where he is not able to respond to an incident, Deputy Officers are then doing the investigator's job and are unable to do policing and patrol for the City causing their proactive time to decrease. The City is currently at 33 percent of Deputies' time being proactive when they should be at 40 percent. This new investigator will help bring the proactive time to 41 percent.

There was then discussion about the individual line items in the contract. It was explained that the Administration portion of the contract is for Administration Staff who perform the functions of human resources, record keeping, information technology, accounting, etc. This line item is calculated by taking 10 percent of the total wages and benefits for the City's Deputies and Investigator and then adding in the information technology portion. Reasons for the large increase to this line item this year is due to information technology needing to increase their budget and having to pay upfront for radios for the investigator. The Investigator's Vehicle for 2022 includes the upfront cost to purchase and modify a new squad car for the Investigator. This line item will come down in 2023 since the replacement cost for car will be spread over 5 years.

A spreadsheet has been provided comparing the 2021 contract with the 2022 Contract as well as what the cost just the investigator was for the City. There is also two contracts for 36 Hours showing what the cost would be if the Investigator started January 1, 2022 versus if they started July 1, 2022.

BUDGET

The draft preliminary 2022 General Fund budget is mainly funded by a levy of \$5,391,443. This is an increase of \$382,622 or a 7.64 percent increase from 2021. This levy would balance the budget and no reserves would be used to cover General Fund Expenses. Based on preliminary tax capacity numbers, the tax rate for the city would decrease 0.49% to 21.43%.

Other revenues for the City totaled \$910,875, not including transfers, an increased \$91,877 or 11.22% from 2021. License and permits saw a large increase in the draft budget of \$100,350 or 22% due to making the overall revenue be more in align with historical outcomes. Charges for Services increased by \$2,700 or 44% due to truing it up to actual after reducing it in 2021 to the uncertainty of COVID-19 pandemic. Investment income was reduced by \$9,000 or 90% in order to reflect the low rates currently being received on bank accounts and investments. Other revenue sources remained fairly flat from 2020's budget due to not seeing a huge decrease in the year to date amounts.

Expenditures for 2022, including transfers, increased \$557,130 or 8.85% from 2021. The highest increase was the Police Contract. This added \$204,271 to the 2022 expenditures. The full amount of the police contract has been budgeted; this starts the investigator January 1, 2022. If the City decided later to have the investigator start at a later date, the Sheriff's Office would adjust the costs and the savings would be placed in reserves.

Other significant increases in expenditures with a 10% increase by department:

- Building Department increased \$122,223 due to the re-creation of a third Building Inspector position and septic classes. Other notable increases were:
- Elections have added expenses for 2022 of \$28,719.
- Information Technology increased \$9,269 due to the JPA with Metro-INET and their need to hire an administrator.
- Public Works Building increased \$9,050 due to repairs needed annually and after aligning utility costs to actual
- ROW costs increased \$18,000 to align to actual.
- Senior Center increased \$1,567 due to better allocation of insurance costs.
- Transfers to the Revolving Street Fund increased to \$50,000.
- The draft budget includes a 3% cost of living increase for staff. A comparison was completed of the increase of 2% to 3% and it was found a 3% increase added \$42,368 to the budget.

OTHER FUNDS

Ham Laker Fund: In 2020, the Ham Laker Fund ended with a negative \$41,671 fund balance. In 2021 it is slated to go down another \$14,050. A transfer is needed in order to keep this fund going. A transfer from the Gambling Fund has been budgeted to help offset the negative balance.

2010 CIP Bond Debt Service Fund: The G.O. levy for this bond is \$209,416.

GO Capital Note Debt Service Fund-NMTC: This fund was created in 2016. The City of Circle Pines issued General Obligation Capital Notes to finance the acquisition of capital equipment by the North Metro Telecommunications Commission. Member cities receive franchise fees from NMTC, from which they pay their share of the debt service payments. Member cities will not levy property

taxes to pay the debt service. The preliminary 2022 budget includes franchise fees of \$ 31,225 and bond principal, interest, and miscellaneous expense of \$ 31,225.

CAPITAL PROJECT FUNDS: The 2021 Capital Improvement Plan is being presented with the draft budget. Once more direction is given by council, staff with either keep the plan being provided for 2022 or adjust as needed.

Comparison of Police Contract 2021 vs. 2022

I. Personnel	2021	2022	Difference		Investigator Portion Only
A. Sworn Deputy Sheriff					
1.) 7.6 Deputies at 6,630/ Month	604,656.00	619,674.00	15,018.00	2.48%	-
2.) 1.00 Patrol Investigator	-	82,966.00	82,966.00	100.00%	82,966.00
3.) 7 Overtime (Average hours/month per Deputy)	36,628.00	37,538.00	910.00	2.48%	-
B. Non-Sworn CSO					
C. Benefits for Sworn and Non-Sworn Personnel					
PERA (Sworn)	113,507.00	131,011.00	17,504.00	15.42%	14,685.00
PERA (Non-Sworn)	-	-	-	0.00%	-
FICA	-	-	-	0.00%	-
Medicare	9,299.00	10,733.00	1,434.00	15.42%	1,203.00
Severance Allowance	16,326.00	18,971.00	2,645.00	16.20%	2,240.00
Unemployment Compensation	962.00	1,110.00	148.00	15.38%	124.00
Life Insurance	319.00	361.00	42.00	13.17%	42.00
Health Insurance	117,876.00	121,260.00	3,384.00	2.87%	14,100.00
Dental Insurance	3,625.00	4,102.00	477.00	13.16%	477.00
Long Term Disability Insurance	898.00	1,036.00	138.00	15.37%	116.00
Worker's Compensation	6,028.00	6,958.00	930.00	15.43%	780.00
Uniforms	7,676.00	11,180.00	3,504.00	45.65%	1,300.00
Total Benefits	276,516.00	306,722.00	30,206.00	10.92%	35,067.00
Total Personal Costs	917,800.00	1,046,900.00	129,100.00	14.07%	118,033.00
II. Vehicle					
A. Police Equipped Vehicles - 1.5 Squads replaced ever other year	48,275.00	52,300.00	4,025.00	8.34%	-
B. Investigator Vehicle	-	32,800.00	32,800.00	100.00%	32,800.00
C. Maintenance Costs					
1. Vehicle	58,933.00	64,783.00	5,850.00	9.93%	5,850.00
2. Emergency & Communications Equipment & Replacement Fee	15,976.00	16,521.00	545.00	3.41%	545.00
3. Emergency Vehicle Equipment Replacement Fee	2,000.00	2,000.00	-	0.00%	-
4. Insurance	5,800.00	8,700.00	2,900.00	50.00%	2,900.00
5. Cellular Phone	3,374.00	4,025.00	651.00	19.29%	468.00
Total Maintenance	86,083.00	96,029.00	9,946.00	11.55%	9,763.00
Total Vehicle Costs	134,358.00	181,129.00	46,771.00	34.81%	42,563.00
III. Administrative Costs					
A. PSDS & APS Maintenance Costs	10,515.00	10,515.00	-	0.00%	-
B. Administrative, Clerical + substation computer line charge, Etc.	93,320.00	112,690.00	19,370.00	20.76%	16,303.00
Total Administrative Costs	103,835.00	123,205.00	19,370.00	18.65%	16,303.00
IV. Total Costs to Contracting Municipality	1,155,994.00	1,351,234.00	195,240.00	16.89%	176,898.00
Less Amount Received from State for Police Aid	50,160.00	50,160.00	-	0.00%	-
Net Cost to Contracting Municipality	1,105,834.00	1,301,074.00	195,240.00	17.66%	176,898.00
Start at 7/1/2021		1,242,035.00			
Difference between full year and half year to reserves		59,039.00			

I. PERSONNEL

A. Sworn Deputy Sheriff		
1.)	7.60 Deputies at \$6,795 /month	619,674
2.)	1.00 Patrol Investigator	82,966
4.)	7 Overtime (Average hours/month per Deputy)	37,538
B. Non-Sworn C.S.O.		
C. Benefits for Sworn and Non-Sworn Personnel		
	P.E.R.A. (Sworn)	131,011
	P.E.R.A. (Non-Sworn)	0
	FICA	0
	Medicare	10,733
	Severance Allowance	18,971
	Unemployment Compensation	1,110
	Life Insurance	361
	Health Insurance	121,260
	Dental Insurance	4,102
	Long Term Disability Insurance	1,036
	Worker's Compensation	6,958
	Uniforms	11,180
	<i>Total Benefits</i>	306,723
TOTAL PERSONNEL COSTS		\$1,046,900

II. VEHICLE

A. Police Equipped Vehicles	1.5 Squads (1- replaced every other yr)	52,300
B. Investigator Vehicle	1 Squads (1- replaced every 5 yrs)	32,800
C. Maintenance Costs		
1.)	Vehicle	64,783
2.)	Emergency & Communications Equipment & replc/maint fees	16,521
3.)	Emergency Vehicle Equipment replc. Fee	2,000
4.)	Insurance	8,700
5.)	Cellular Telephone	4,025
	<i>Total Maintenance Costs</i>	96,029
TOTAL VEHICLE COSTS		\$181,129

III. Administrative Costs

A. PSDS & APS Maintenance costs	10,515
B. Administrative, Clerical, + computer and line charges, Etc.	112,690
<i>Total Administrative Costs</i>	\$123,205

IV. TOTAL COST TO CONTRACTING MUNICIPALITY

\$1,351,234

*Less Amount Received From State for Police State Aid

50,160

NET COST TO CONTRACTING MUNICIPALITY

\$1,301,074

*This figure is determined by the State and is subject to fluctuation.

The latest estimate is \$6600 per Deputy. Revenue received is for previous year Deputy hours hired prior to August 1

I. PERSONNEL

A. Sworn Deputy Sheriff		
1.)	7.60 Deputies at \$6,795 /month	619,674
2.)	1.68 Deputies July 1st	68,490
2.)	7 Overtime (Average hours/month per Deputy)	41,687
B. Non-Sworn C.S.O.		
C. Benefits for Sworn and Non-Sworn Personnel		
	P.E.R.A. (Sworn)	129,184
	P.E.R.A. (Non-Sworn)	0
	FICA	0
	Medicare	10,583
	Severance Allowance	18,580
	Unemployment Compensation	1,095
	Life Insurance	354
	Health Insurance	119,004
	Dental Insurance	4,026
	Long Term Disability Insurance	1,022
	Worker's Compensation	6,861
	Uniforms	12,064
	<i>Total Benefits</i>	302,772

TOTAL PERSONNEL COSTS

\$1,032,623

II. VEHICLE

A. Police Equipped Vehicles	1.5 Squads	52,300
B. C.S.O. Vehicle		
C. Maintenance Costs		
1.)	Vehicle	65,482
2.)	Emergency & Communications Equipment & replc/maint fees	25,934 *Incl new equip purch
3.)	Emergency Vehicle Equipment replc. Fee	2,000
4.)	Insurance	5,800
5.)	Cellular Telephone	3,950
	<i>Total Maintenance Costs</i>	103,165

TOTAL VEHICLE COSTS

\$155,465

III. Administrative Costs

A. PSDS & APS Maintenance costs	10,515
B. Administrative, Clerical,+ substation computer line charge, Etc.	106,762
<i>Total Administrative Costs</i>	\$117,277

IV. TOTAL COST TO CONTRACTING MUNICIPALITY

\$1,305,366

*Less Amount Received From State for Police State Aid

50,160

NET COST TO CONTRACTING MUNICIPALITY

\$1,255,206

*This figure is determined by the State and is subject to fluctuation.

The latest estimate is \$6600 per Deputy. Revenue received is for previous year Deputy hours hired prior to August 1

CITY OF HAM LAKE, MINNESOTA
 STATEMENT OF REVENUE, EXPENDITURES AND CHANGES IN FUND BALANCES - SUMMARY
 GENERAL FUND
 ACTUAL FOR THE YEAR ENDED DECEMBER 31, 2018-2019, PERIOD TO DATE AUGUST 31, 2020 AND
 BUDGET FOR THE YEARS ENDED DECEMBER 31, 2020 AND 2019

	Actual 2019	Actual 2020	YTD 7/31/2021	Budget 2021	Budget 2022	Percent Change
REVENUES						
Taxes	\$ 4,708,432	\$ 4,844,172	\$ 2,629,867	\$ 5,036,071	\$ 5,418,693	7.60%
Licenses and permits	512,039	570,475	331,359	448,250	548,600	22.39% (1)
Intergovernmental	169,377	201,127	12,169	151,000	151,000	0.00%
Charges for services	10,222	12,050	8,004	6,185	8,885	43.65% (1)
Fines and forfeitures	27,610	22,131	12,023	30,000	30,000	0.00%
Investment earnings	66,173	30,842	(3,360)	10,000	1,000	-90.00% (2)
Miscellaneous	350,244	174,916	101,299	146,313	144,140	-1.49%
TOTAL REVENUES	6,086,156	6,065,022	3,091,361	5,827,819	6,302,318	8.14%
EXPENDITURES						
Council	99,585	92,066	44,043	81,252	76,979	-5.26%
Ordinances	1,689	1,689	1,149	4,700	5,100	8.51%
Administration	129,210	146,389	80,907	161,075	161,440	0.23%
Clerk	145,589	128,812	67,543	119,642	118,328	-1.10%
Elections	-	28,763	-	-	28,719	0.00%
Finance	192,192	241,892	123,858	223,586	238,044	6.47%
Auditing	23,525	22,570	28,580	27,930	28,900	3.47%
Assessing	77,739	78,236	39,118	77,000	78,500	1.95%
Prosecutions	78,000	78,000	39,000	78,000	78,000	0.00%
Planning & zoning	57,676	60,507	47,309	91,292	94,145	3.13%
General government	69,684	59,031	52,073	76,101	82,621	8.57%
General govt buildings	161,884	144,459	16,169	35,975	36,575	1.67%
City sign	3,318	2,591	1,623	2,779	2,913	4.81%
Information Technology	37,528	41,077	24,497	43,258	52,527	21.43% (3)
Police protection	1,032,403	947,412	842,478	1,081,547	1,285,817	18.89% (4)
Fire department	470,231	415,911	324,812	546,314	574,175	5.10%
Fire stations	39,930	28,283	17,511	30,760	31,760	3.25%
Sirens	9,268	8,965	7,851	9,148	9,187	0.43%
Building inspection	381,578	352,874	192,631	302,645	424,868	40.39% (5)
Animal control	3,900	4,650	1,560	4,150	3,150	-24.10% (6)
Public works	861,028	686,160	462,893	856,094	910,582	6.36%
Public works building	32,986	32,346	16,890	25,800	34,850	35.08% (7)
Snow & ice removal	154,467	92,337	72,410	79,700	86,190	8.14%
Stormwater drainage	4,048	6,214	2,130	2,000	4,000	100.00% (8)
Stormwater-WMOs	13,191	17,555	15,069	12,750	12,750	0.00%
Signs & signals	15,363	16,559	11,309	21,000	21,000	0.00%
Utility/ROW	35,255	48,798	15,230	22,000	40,000	81.82% (9)
Parks	212,729	195,170	125,670	268,471	286,879	6.86%
Park Buildings	12,892	9,916	8,836	16,850	16,850	0.00%
Senior Center	70,287	4,314	2,346	5,861	7,428	26.73% (10)
Senior Center Building	13,540	13,540	5,924	13,540	13,540	0.00%
Misc/unallocated	117,262	110,997	2,218	115,000	111,200	-3.30%
TOTAL EXPENDITURES	4,557,979	4,120,082	2,693,637	4,436,220	4,957,017	11.74%
EXCESS REVENUES (EXPENDITURES)	1,528,177	1,944,940	397,724	1,391,599	1,345,300	-3.33%
OTHER FINANCING SOURCES (USES)						
Transfers in	1,350	1,350	-	1,200	1,200	0.00%
Transfers out	(1,270,000)	(1,270,000)	(1,309,387)	(1,301,000)	(1,346,500)	3.50%
TOTAL OTHER FINANCING SOURCES (USES)	(1,268,650)	(1,268,650)	(1,309,387)	(1,299,800)	(1,345,300)	3.50%
EXCESS (DEFICIENCY) OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER USES						
	\$ 259,527	\$ 676,290	\$ (911,662)	\$ 91,799	\$ 0	

Explanation of Budget Changes in revenue and expenditures over 10%.

- (1) Licenses and Permits revenue and Charges for Services revenue increased to align with actual history
- (2) Investment revenue was decreased due to the low rates on CD's at this time.
- (3) Metro-Inet contract for IT services increased \$2,000 for administration and personal costs to accommodate to change to JPA.
- (4) Police offered a few new options for contract negotiations. Input option 3 at full price.
- (5) Increase is due to a new Building Inspector being hired. We previously budgeted for an intern position with less pay and no benefits. There was also an increase in training for septic trainings.
- (6) New contract of \$250 per month.
- (7) Increased building repair and maintenance to reflect average over last three years. Also, increased Electricity to align with actual.
- (8) Aligned stormwater engineering fees to actual.
- (9) Increased ROW Permit expense to match average actual over the last 3 years.
- (10) Increased insurance premium to match actual.

CITY OF HAM LAKE
PROPERTY TAX LEVY - ALL FUNDS
COMPARISON OF PROPERTY TAXES

Program or service	<u>2020 Levied</u>	<u>2021 Requested</u>	<u>Increase / Decrease</u>	<u>% Change</u>
Base Levy				
General fund	\$ 5,008,821	\$ 5,391,443	\$ 382,622	7.64%
Economic Development Authority	-	-	-	0.00%
Debt Service				
2010A GO Capital Improvement	209,521	209,416	(105)	-0.05%
 Total Property Taxes	 <u>\$ 5,218,342</u>	 <u>\$ 5,600,859</u>	 <u>\$ 382,517</u>	 <u>7.33%</u>

CITY OF HAM LAKE
TAX RATE CALCULATION

	Payable 2019		Payable 2020		Payable 2021		Payable 2022	
Tax Capacity	19,788,727	93%	21,352,780	95%	22,518,644	90%	24,883,336	
FD Contribution	(1,066,494)	10%	(1,178,443)		(1,234,354)		(1,326,931)	
Net Tax Capacity	18,722,233		20,174,337		21,284,290		23,556,405	
Certified Levy	4,930,453		5,066,994		5,218,342		5,600,859	
FD Distribution	(547,667)		(542,880)		(553,732)		(553,732)	
Local Levy	4,382,786		4,524,114		4,664,610		5,047,127	
City Tax Rate	23.440%		22.425%		21.916%		21.426%	

