



County of Fairfax, Virginia

OCT 04 2019

MEMORANDUM

DATE: 10/3/2019

TO: Distribution List

FROM: Tracy D. Strunk, AICP
Director, Zoning Evaluation Division
Department of Planning and Development

SUBJECT: Zoning Application Analysis

Board of Supervisors
Springfield

REFERENCE: Application No. RZ/FDP 2019-SP-014 Con. W/ PCA/CDPA/FDPA 2017-SP-017
(Brightview Senior Living Development, LLC)

Case Information

Staff Coordinator: **Kelly Atkinson**
Pre-Staffing: **11/4/2019** Staffing: **12/12/2019**
Tentative PC: **2/12/2020** Tentative BOS: **TBD**

Memo Includes Full-Size Development Plans for Noted (①) Addressees: Yes No

Attached for your review and comment is the zoning case information for the subject application.

Action addressees are requested to provide written comments to the staff coordinator by **(10/30/2019)** to be considered in preparing staff's recommendation on this application. Information addressees may also submit any comments by the same date.

Action Addressees

- ① DPD Planning Division
Chief, Env. & Dev. Review Br.
Attn: Denise James
- ① DPWES Site and Addressing
Attn: Lori Ramsey
- ① DPWES Sanitary-Sewer
Attn: Sharad Regmi
- ① VDOT
Attn: David Jordan
- ① Fire Prevention Div
Plans Review Section
Attn: Mike Paruti
- ① Fairfax County Public Schools
Facilities & Transportation Svcs
Attn: Jessica Gillis
- ① Dept. of Transportation
Transportation Planning
Chief, Site Analyst Section
Attn: Jeff Hermann
- ① Dept. of Housing & Comm. Dev.
Housing Development Div.
Housing Development Officer
Attn: Abdirazak Hamud

- ① Fairfax County Park Authority
Planning & Development Div.
Plan Review Coordinator
Attn: Lynne Johnson 4th fl.
- ① Northern Va Soil and Water
Conservation District
Attn: Willie Woode
- ① Planning Commission
Board of Supervisors
Springfield District
- ① DPD-Community Revitalization
Attn: Elizabeth Hagg
CRD/CRA only
- ① DPD-Urban Centers Section
Attn: Chris Caperton
Reston or Tysons only
- ① Fairfax County Water Authority
Planning & Engineering Div.
Manger, Planning Dept.
Attn: Greg Prelewicz
Attn: Ross Stilling
- Dept. of Tax Administration
Real Estate Division Director
Attn: Thomas Reed
- Dept. of Health
Div. of Environmental Health

Technical Review and
Information Resources
Attn: Kevin Wastler

Fairfax County Public Schools
Facilities & Transportation Svcs
Office of Design & Construction
Services
Attn: Eric Brunner

Fire & Rescue Dept.
Information & Technology
Attn: Eric Fisher

DPWES Site and Dev Svcs
Chief, Urban Forestry Branch
Attn: Craig Herwig

Information Addressees

- ① Economic Dev. Authority
Director, Real Estate Services
Attn: Curtis Hoffman
- ① Planning Commission
Executive Director
Attn: Jill Cooper
- Clerk to Board of Supervisors
Attn: Cathy Chianese
- DPD-ZED Division Director
Attn: Tracy Strunk, AICP

DPD-ZED Asst. Director
Attn: William Mayland

DPD-ZED
Attn: Branch Chiefs

DPD-ZED
Conformance Review &
Acceptance Branch
Attn: Suzanne Wright

DPD-ZED
Admin. Asst., Legal Notices
Attn: Rachael Pendergraph

DPD Chief Zoning Inspector
Attn: Mavis Stanfield

Dept. of Information Technology
Technology Infrastructure Div.
Attn: Steve Brundage

Dept. of Family Services
Adult Aging Services
AAA, B-3-708
Attn: Jacquie Woodruff

Southeast Fairfax Dev. Corp.
Attn: Tony Fontana
MV or LEE only



PLANNING & DEVELOPMENT

Department of Planning and Development
Zoning Evaluation Division
12055 Government Center Parkway, Suite 801
Fairfax, Virginia, 22035-5509
Phone: 703 324-1290 / Fax: 703 324-3924
www.fairfaxcounty.gov/planning-development/



COUNTY OF FAIRFAX
 Department of Planning and Development
 Zoning Evaluation Division
 12055 Government Center Parkway, Suite 801
 Fairfax, VA 22035 (703) 324-1290 TTY 711
<https://www.fairfaxcounty.gov/planning-development/zoning/application-packages>

APPLICATION #: RZ/FDP 2019-SP-014
Concurrent with
PCA 2017-SP-017
CDPA 2017-SP-017
FDPA 2017-SP-017

(Staff will assign)

ZONING APPLICATION

RECEIVED
 Dept of Planning & Development

SEP 27 2019

Zoning Evaluation Division

APPLICATION TYPE(S): RZ PCA FDP CDPA FDPA DPA CP
 CPA PRC PRCA CSP CSPA AA AF AR

TO: THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA

(We), Brightview Senior Living Development, LLC the applicant(s) petition you to adopt an ordinance amending the Zoning Map of Fairfax County, Virginia, by reclassifying the below noted property from the R-2(C), WSPOD District to the PDH-4, WSPOD District.

(PCA) This application proposes to amend the proffers approved pursuant to _____ (case) in order to permit _____

Is this a partial PCA? _____ (Y/N) If Yes, please identify affected acreage: _____

TAX MAP PARCEL(S):

55-4((1))36B

TOTAL ACREAGE: 6,859 square feet / 0.16 AC. CURRENT ZONING DISTRICT: R-2 (C)

LEGAL DESCRIPTION: Deed Book: 25842 Page No.: 2197

POSTAL ADDRESS OF PROPERTY (INCLUDING ZIP CODE):

12723 and 12725 Lee Highway, Fairfax, VA 22030

ADVERTISING DESCRIPTION: (Ex: North side of Lee Highway approx. 1000 feet west of its intersection with Newgate Blvd.)

On the south side of Lee Highway, approximately 450 feet west of its intersection with Summit Drive (Rt. 1257)

EXISTING USE:	Vacant	PROPOSED USE:	Independent Living/Assisted living
MAGISTERIAL DISTRICT:	Springfield	OVERLAY DISTRICT(S):	WSPOD

Waiver/Modification of Submission Requirements Requested:

The name(s) and address(es) of owner(s) of record shall be provided on the affidavit form attached and made part of this application. The undersigned has the power to authorize and does hereby authorize Fairfax County staff representative on official business to enter on the subject property as necessary to process the application.

Applicant Contact Name: Maria Miller, Brightview Senior Living Development, LLC			Agent Name: Greg Riegler/Lori Greenlief, McGuireWoods LLP		
Address: Street: 218 N. Charles Street, Suite 220 City: Baltimore State: MD Zip: 21201			Address: Street: 1750 Tysons Blvd. Suite 1800 City: Tysons State: VA Zip: 22102		
Phone Number: (W): 410-246-7572 (C):			Phone Number: (W): 703-712-5433 (C): 571-274-1316		
E-mail: memiller@bvsl.net			E-mail: lgreenlief@mcguirewoods.com		

Signature: [Handwritten Signature]

Date: 9/26/19

DO NOT WRITE IN THIS SPACE

RZ/FDP 2019-0234/0276

Date Application Accepted: September 27, 2019

Application Fee Paid: \$ 28,025.00



COUNTY OF FAIRFAX
 Department of Planning and Development
 Zoning Evaluation Division
 12055 Government Center Parkway, Suite 801
 Fairfax, VA 22035 (703) 324-1290 TTY 711
<https://www.fairfaxcounty.gov/planning-development/zoning/application-packages>

APPLICATION #:
Concurrent with RZ/FDP 2019-SA-014

PCA 2017-SP-017
CDPA 2017-SP-017
FDPA 2017-SP-017
 (Staff will assign)

ZONING APPLICATION

RECEIVED
 Dept of Planning & Development

APPLICATION TYPE(S):
 RZ PCA FDP CDPA FDPA DPA CP
 CPA PRC PRCA CSP CSPA AA AF AR

SEP 27 2019

TO: THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA

Zoning Evaluation Division

(We), Brightview Senior Living Development, LLC the applicant(s) petition you to adopt an ordinance amending the Zoning Map of Fairfax County, Virginia, by reclassifying the below noted property from the PDH-4, WSPOD District to the PDH-4, WSPOD District.

(PCA) This application proposes to amend the proffers approved pursuant to RZ 2017-SP-017 (case) in order to permit addition of land area and reconfiguration of outdoor recreation area

Is this a partial PCA? N (Y/N) If Yes, please identify affected acreage: _____

TAX MAP PARCEL(S):

55-4((1))31A

TOTAL ACREAGE: 5.62 acres CURRENT ZONING DISTRICT: PDH-4, WSPOD

LEGAL DESCRIPTION: Deed Book: 25853 Page No.: 1270

POSTAL ADDRESS OF PROPERTY (INCLUDING ZIP CODE):

12723 and 12725 Lee Highway, Fairfax, VA 22030

ADVERTISING DESCRIPTION: (Ex.: North side of Lee Highway approx. 1000 feet west of its intersection with Newgate Blvd.)

On the south side of Lee Highway, approximately 450 feet west of its intersection with Summit Drive (Rt. 1257)

EXISTING USE:	Motel and SFD	PROPOSED USE:	Independent Living/Assisted living
MAGISTERIAL DISTRICT:	Springfield	OVERLAY DISTRICT(S):	WSPOD

Waiver/Modification of Submission Requirements Requested:

The name(s) and address(es) of owner(s) of record shall be provided on the affidavit form attached and made part of this application. The undersigned has the power to authorize and does hereby authorize Fairfax County staff representative on official business to enter on the subject property as necessary to process the application.

Applicant Contact Name: Maria Miller, Brightview Senior Living Development, LLC			Agent Name: Greg Riegle/Lori Greenlief, McGuireWoods LLP		
Address: Street: 218 N. Charles Street, Suite 220			Address: Street: 1750 Tysons Blvd. Suite 1800		
City: Baltimore	State: MD	Zip: 21201	City: Tysons	State: VA	Zip: 22102
Phone Number: (W): 410-246-7572 (C):			Phone Number: (W): 703-712-5433 (C): 571-274-1316		
E-mail: memiller@bvsl.net			E-mail: lgreenlief@mcguirewoods.com		

Signature:

Date: 9/26/19

DO NOT WRITE IN THIS SPACE

PCA/CPA/FOPA 2019-0235/0236/0237

Date Application Accepted: September 27, 2019

Application Fee Paid: \$ 14,985.00

AUG 21 2019

NARRATIVE STATEMENT

Proffer Condition Amendment/Rezoning Application
Brightview Development Senior Living, LLC
August 20, 2019

Zoning Evaluation Division

This set of applications is filed on behalf of Brightview Development Senior Living, LLC (the "Applicant") in order to add land area to a previously approved rezoning and revise the shape and size of a courtyard area which was shown on the approved plan. The property for which the proffer condition amendment is requested contains 5.62 acres and is identified as Tax Maps 55-4((1))31A (previously 55-4((1))30 and 31). The property to be added to the application area contains 6,859 square feet and is identified as Tax Map 55-4((1))36B. Together, this acreage, a total of 5.77 acres, will be known as the "Property" for the purposes of this application.

Background

On January 23, 2018, the Board of Supervisors approved RZ 2017-SP-017 which rezoned Tax Maps 55-4((1))30 and 31 to the PDH-4 and WS Districts to permit the development of an independent living facility (92 units) which also has an assisted living (52 units) and a memory care component (26 units). Subsequent to this approval, the property was purchased by Brightview Senior Living Development, LLC and combined through a subdivision deed into one lot, known as Lot 31A. Also subsequent to this approval, a site plan (#7976-SP-001) was approved for the Property. Construction is intended to begin August 2019. Recently, the adjacent property to the west was also purchased by the Applicant. The adjacent property is a 16 foot wide strip of land that was privately owned and previously used as an outlet road.

Specifics of the Request

The addition of the land area to the west allows one of the resident recreational areas, which was approved on the west side of the building, to be expanded slightly. It is intended that the required 35 foot wide transitional screening yard will shift to the 16 foot wide strip (with 19 feet of screening to remain on the originally rezoned property) allowing the recreation area to be enlarged while also retaining adequate fire access. The strip of land (Lot 36B) will need to be rezoned to the PDH-4 District to become part of the proposed development and the PCA application is necessary in order to revise the configuration of the approved courtyard in that area of the Property. Additionally, a small 16 x 16 pavilion is proposed towards the rear of the building between the building and the western lot line. No other changes to the layout and no changes to density, parking or other proffers are proposed. It is further noted that the acreage of Lot 36B, 6,859 square feet, has not been utilized in the calculation of density of the use.

Conformance with the Comprehensive Plan

The Property is located in Land Unit T of the Fairfax Center Area. Prior to the approval of RZ 2017-SP-017, the Board of Supervisors approved a plan amendment which allowed the development of an independent living facility and/or an assisted living facility on Lots 30 and 31 under certain conditions. It was determined with the approval of RZ 2017-SP-017 that those conditions had been met and the minor revisions proposed with these applications do not change that conformance.

Guidelines for Multifamily Residential Development for the Elderly

With the revisions proposed, the senior living residence will remain in conformance with the three locational guidelines outlined in the Land Use section of the Policy Plan in that:

1. Brightview will provide a shuttle service for residents to shopping, doctor's appointments, etc.
2. The walkways are designed with elderly needs in mind with respect to slope.
3. Brightview is very aware of the need for security for their residents and the senior living community is designed with that in mind.

Zoning Ordinance Requirements

Sect. 6-106, Use Limitations

This section addresses use limitations with the PDH District. Pars. 1 and 2 require conformance with the standards of Part 1 of Article 16 and the performance standards of Article 14. The use and layout were determined to be in conformance with these paragraphs with the original approval and the addition of Lot 36B along with the enlargement of the courtyard in that area of the Property will not affect that determination of conformance. Par. 3 indicates that when a Category use is proposed for consideration on a final development plan, the standards set forth in Article 9, specifically in this case Sect. 9-306 and 9-307, shall be used as a guide. Again, it was determined with the approval of RZ 2017-SP-017 that the use limitations for an independent living facility were met. Although the standards changed slightly with the recent Zoning Ordinance amendment, the addition of this land area does not change the application's conformance with these standards. Further, all medical care facilities will be subject to the review procedures of the Health Care Advisory Board (HCAB) as outlined in Part 3 of Article 9. The Applicant will contact the to determine if this minor amendment requires a presentation to the Board. Par. 4 requires that all uses shall be in conformance with the approved FDP. Pars. 5, 6, 7, 9, 10 and 11 are not applicable. Signs will conform to the Ordinance as required by Par. 8.

Sects. 6-107 and 6-108, Lot Size Requirements and Bulk Regulations

The application meets the lot size of bulk regulations as specified in these two sections.

Article 16: Sect. 16-101, General Standards for All Planned Developments

1. General Standard 1 requires conformance with the Comprehensive Plan. As discussed above, the use remains in conformance with the Comprehensive Plan.
2. The Application meets General Standard 2 which requires a finding that the proposed planned development achieves the stated purpose and intent of the planned development more effectively than a conventional district. It was determined with the approval of RZ 2017-SP-017 that this standard was met and the revisions proposed do not affect that conformance.
3. General Standard 3 requires a finding that the proposal efficiently utilizes the available land, protecting and preserving to the extent possible all scenic assets and natural features. It was determined with the approval of RZ 2017-SP-017 that this standard was met and the revisions proposed do not affect that conformance.
4. General Standard 4 requires that the development will not degrade the use or value of surrounding properties and will not hinder the development of surrounding undeveloped properties. Compatibility with the surrounding area is an important element of all Brightview communities and care is taken in the design of architectural elements to ensure affinity with the style, character and feel of the neighborhood. It was determined with the approval of RZ 2017-SP-017 that this standard was met and the revisions proposed do not affect that conformance. Transitional Screening is still proposed along the western lot line.
5. The proposal meets General Standard 5 as adequate public facilities are available to serve the property.
6. General Standard 6 requires a finding that the application provides coordinated linkages among internal and external facilities and services. Brightview will provide a van service for the residents for shopping, doctor's appointments and other excursions.

Article 16: Sect. 16-102, Design Standards for All Planned Developments

It was determined with the approval of RZ 2017-SP-017 that these standards were met and the revisions proposed do not affect that conformance.

CONCLUSION

Brightview Senior Living Development LLC has the opportunity to improve the layout of the approved independent living facility with this minor increase in 6,859 square feet. The entire 16 foot wide strip will be planted with transitional screening vegetation and the area is not being utilized to calculate or recalculate density. The density is not changing.

For the reasons stated in this statement of justification, the Applicant respectfully requests the staff's and Planning Commission's positive recommendation and the Board of Supervisor's approval of this application.

Respectfully submitted,



Lori Greenlief
Senior Land Use Planner
McGuirewoods LLP

Rezoning Application

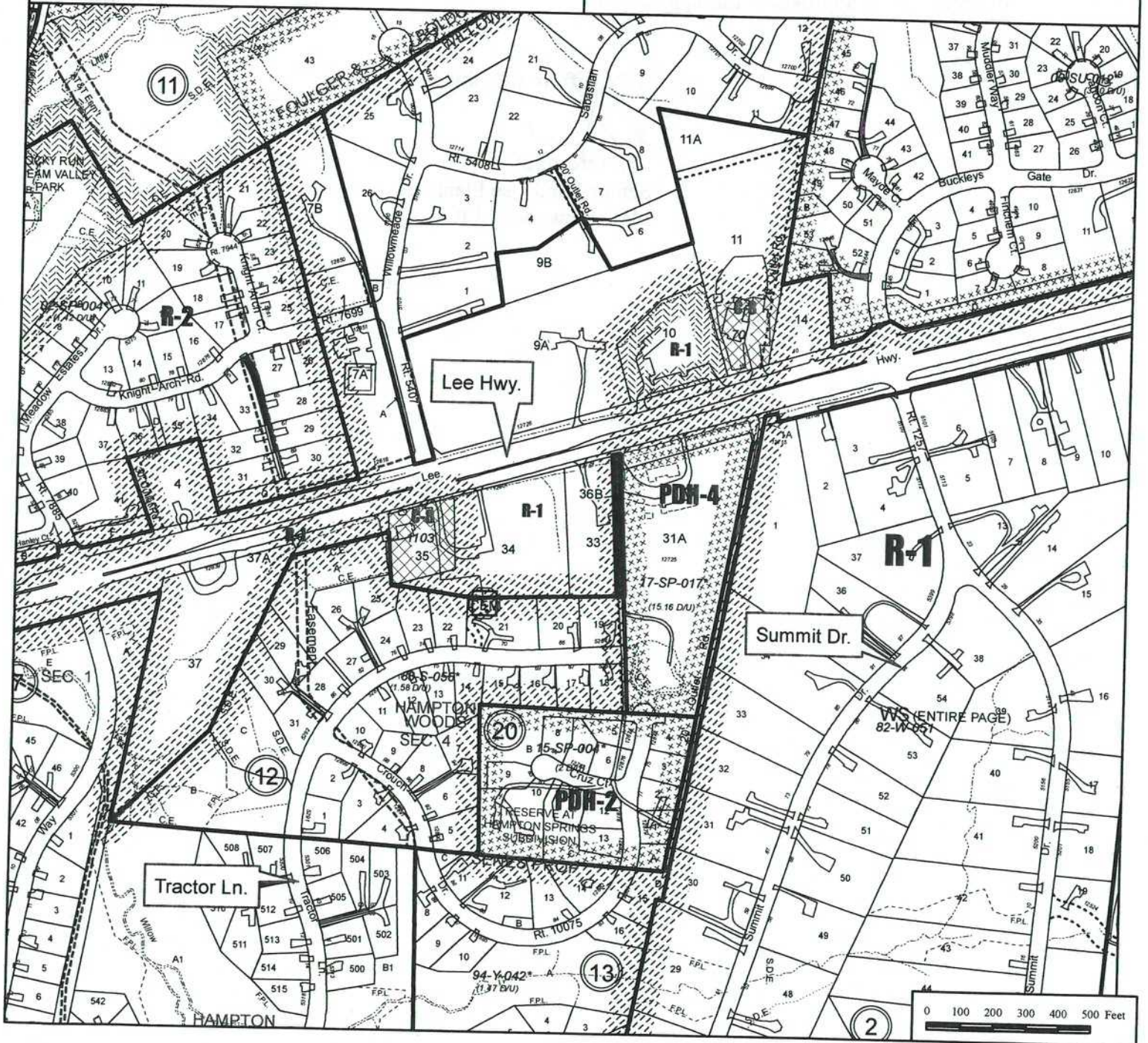
RZ 2019-SP-014

Final Development Plan

FDP 2019-SP-014

Applicant: BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC
Accepted: 09/27/2019
Proposed: INDEPENDENT LIVING/ASSISTED LIVING FACILITIES
Area: 0.16 AC; DISTRICT - SPRINGFIELD
Zoning Dist Sect:
Located: SOUTH SIDE OF LEE HIGHWAY
APPROXIMATELY 450 FEET WEST OF SUMMIT DRIVE
Zoning: FROM R- 2 TO PDH- 4
Overlay Dist: WS
Map Ref Num: 055-4- /01/ /0036B

Applicant: BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC
Accepted: 09/27/2019
Proposed: INDEPENDENT LIVING/ASSISTED LIVING FACILITIES
Area: 0.16 AC; DISTRICT - SPRINGFIELD
Zoning Dist Sect:
Located: SOUTH SIDE OF LEE HIGHWAY
APPROXIMATELY 450 FEET WEST OF SUMMIT DRIVE
Zoning: PDH- 4
Overlay Dist: WS
Map Ref Num: 055-4- /01/ /0036B



Conceptual Development Plan Amendment

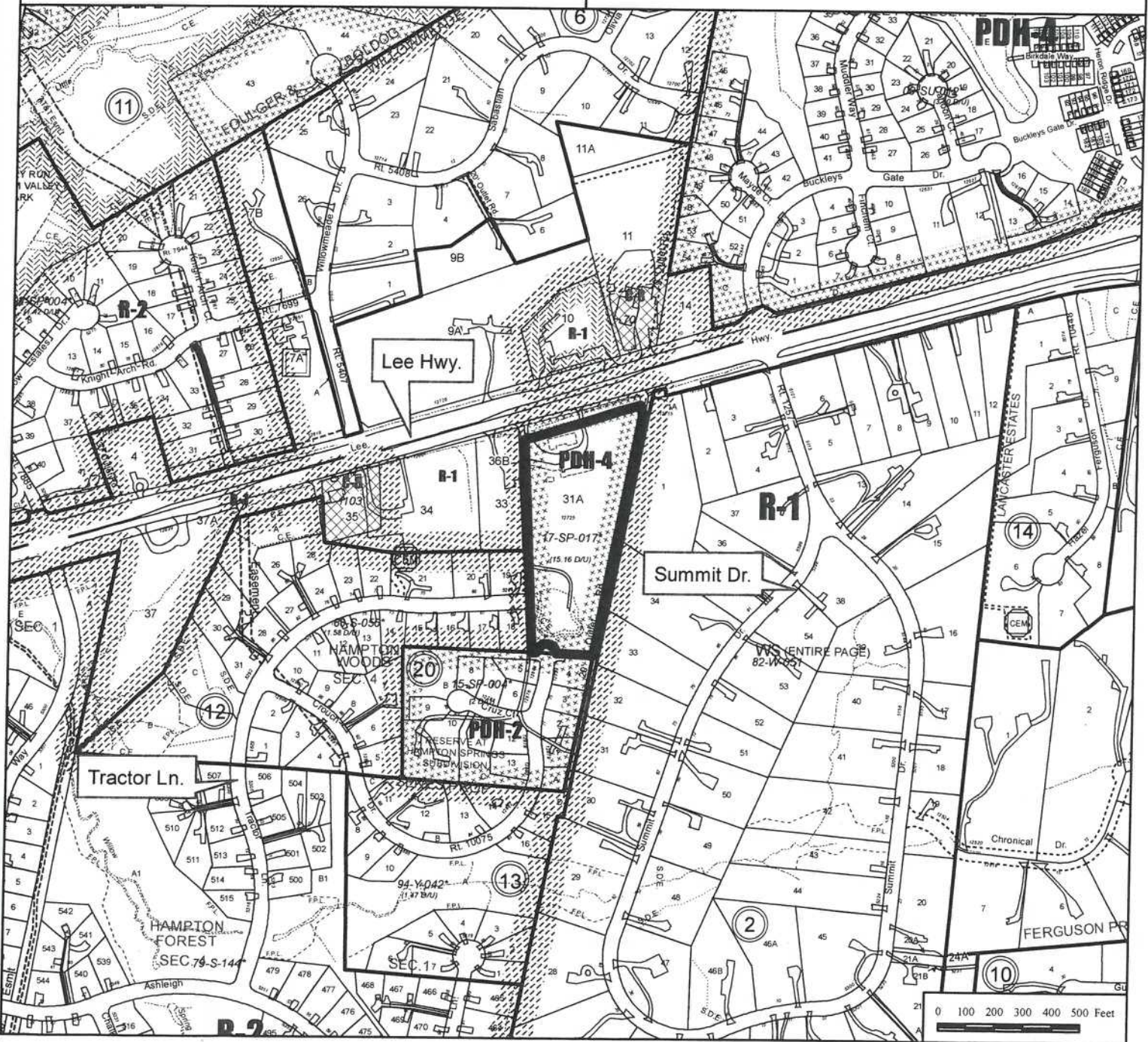
CDPA 2017-SP-017

Applicant: BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC
Accepted: 09/27/2019
Proposed: AMEND CONCEPTUAL DEVELOPMENT PLANS ASSOCIATED WITH RZ 2017-SP-017
Area: 5.62 AC; DISTRICT - SPRINGFIELD
Zoning Dist Sect:
Located: ON THE SOUTH SIDE OF LEE HIGHWAY APPROXIMATELY 450 FEET WEST OF ITS INTERSECTION WITH SUMMIT DRIVE
Zoning: PDH- 4
Overlay Dist: WS EX
Map Ref Num: 055-4- /01/ /0031A

Proffered Condition Amendment

PCA 2017-SP-017

Applicant: BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC
Accepted: 09/27/2019
Proposed: AMEND PROFFERS AND CONDITIONS ASSOCIATED WITH RZ 2017-SP-017 APPROVED FOR INDEPENDENT / ASSISTED LIVING
Area: 5.62 AC; DISTRICT - SPRINGFIELD
Zoning Dist Sect:
Located: ON THE SOUTH SIDE OF LEE HIGHWAY APPROXIMATELY 450 FEET WEST OF ITS INTERSECTION WITH SUMMIT DRIVE
Zoning: PDH- 4
Overlay Dist: WS EX
Map Ref Num: 055-4- /01/ /0031A



Final Development Plan Amendment

FDPA 2017-SP-017



Applicant: BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC
Accepted: 09/27/2019
Proposed: AMEND FINAL DEVELOPMENT PLAN ASSOCIATED WITH FDP 2017-SP-017
Area: 5.62 AC; DISTRICT - SPRINGFIELD
Zoning Dist Sect: Located: ON THE SOUTH SIDE OF LEE HIGHWAY APPROXIMATELY 450 FEET WEST OF ITS INTERSECTION WITH SUMMIT DRIVE
Zoning: PDH- 4
Overlay Dist: WS EX
Map Ref Num: 055-4- /01/ /0031A



Rezoning Application

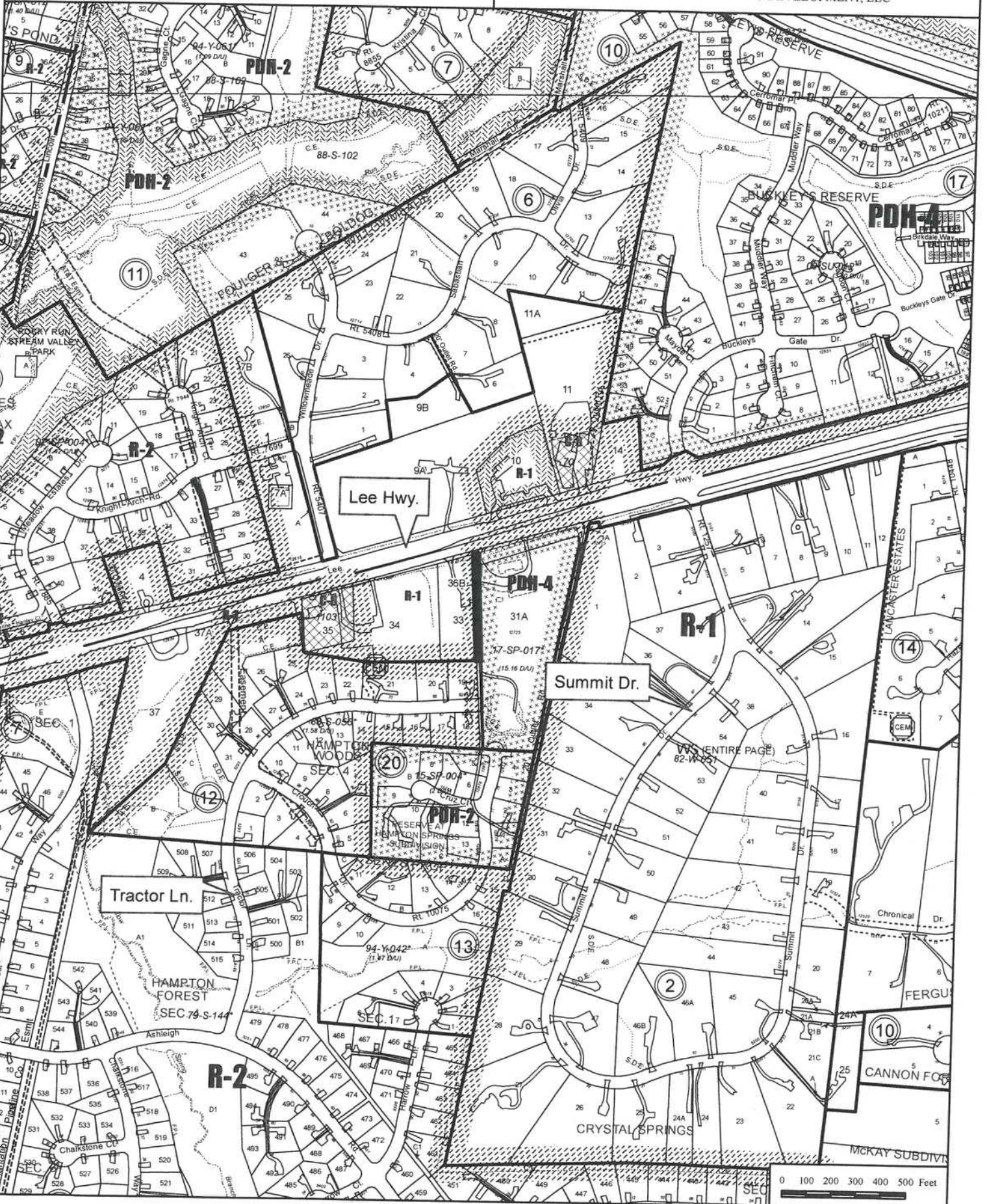
RZ 2019-SP-014

BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC

Final Development Plan

FDP 2019-SP-014

BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC



Conceptual Development Plan Amendment

CDPA 2017-SP-017

BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC

Proffered Condition Amendment

PCA 2017-SP-017

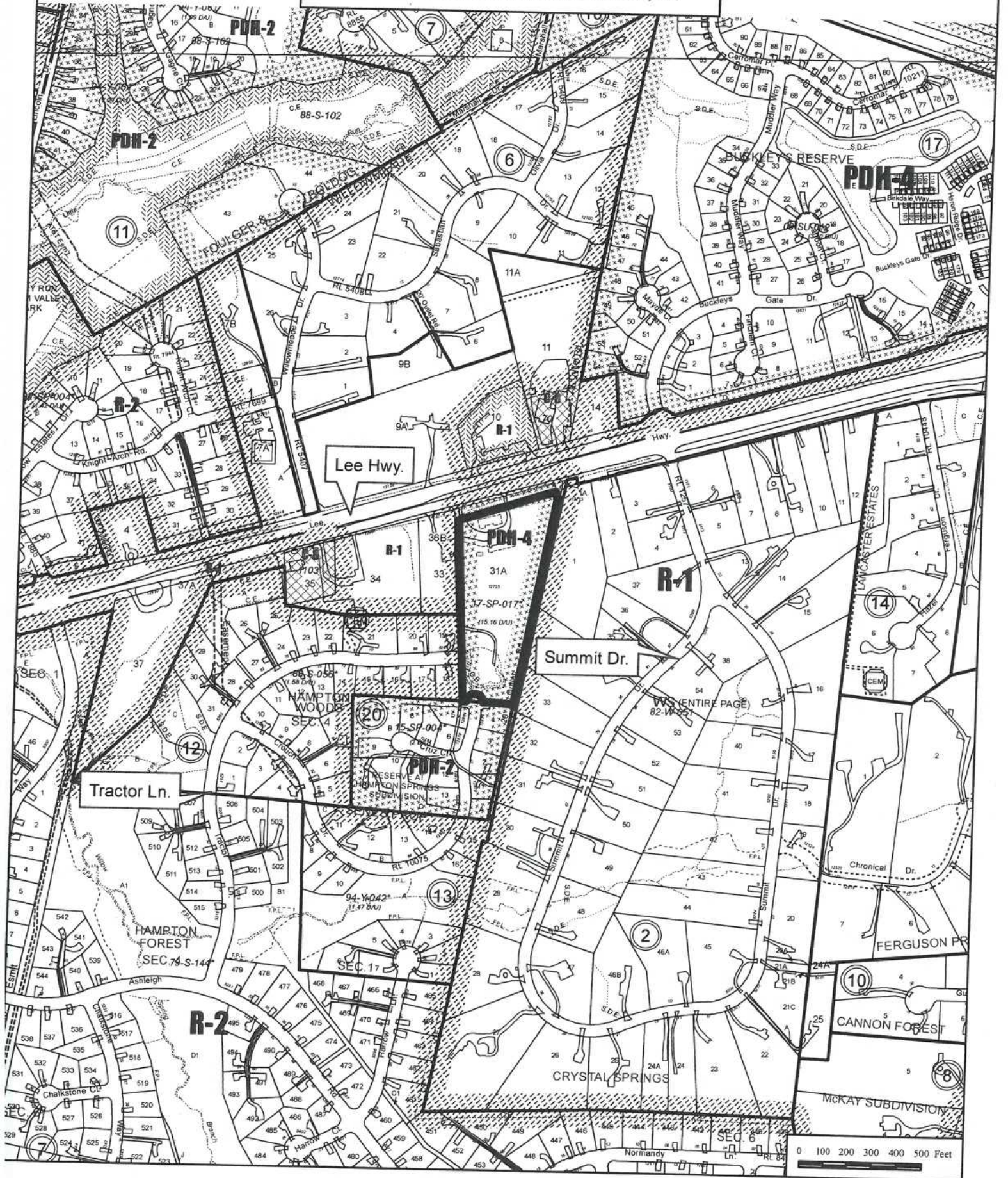
BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC



Final Development Plan Amendment

FDPA 2017-SP-017

BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC

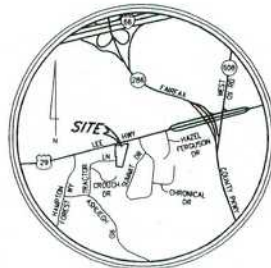


BRIGHTVIEW FAIR OAKS

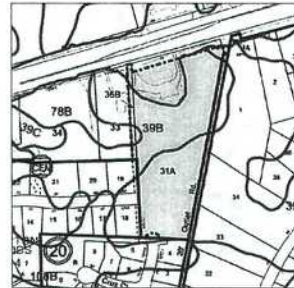
CONCEPTUAL/FINAL DEVELOPMENT PLAN AMENDMENT (PARCELS 31A AND 36B) REZONING-CONCEPTUAL/FINAL DEVELOPMENT PLAN (PARCEL 36B ONLY)

SPRINGFIELD DISTRICT
FAIRFAX COUNTY, VIRGINIA
SEPTEMBER 3, 2019

RECEIVED
Dept of Planning & Development
SEP 05 2019
Zoning Evaluation Division



VICINITY MAP
SCALE: 1" = 2,000'



SOILS MAP
SCALE: 1" = 250'

SOIL NO.	SOILS NAME	LOCALITY	PERCENTAGE	AREA	PERCENTAGE	AREA	PERCENTAGE	AREA	PERCENTAGE	AREA
78B	CLAYEY SAND	100	100	100	100	100	100	100	100	100
36B	CLAYEY SAND	100	100	100	100	100	100	100	100	100
36C	CLAYEY SAND	100	100	100	100	100	100	100	100	100
31A	CLAYEY SAND	100	100	100	100	100	100	100	100	100

APPLICANT

BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC
218 N. Charles Street
Suite 220
Baltimore, MD 21201
Telephone 410.246.7486
Fax 410.528.2437

ATTORNEY/AGENT

MCGUIRE WOODS, LLC
1750 Tysons Boulevard
Suite 1800
McLean, VA 22102-4215
Telephone 703-712-5000
Fax 703-712-5207

BC Consultants

Planners - Engineers - Surveyors - Landscape Architects
12600 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
(703)449-8100 (703)449-8108 (Fax)
www.biconsultants.com

SHEET INDEX

Sheet Number	Sheet Title
1	COVER SHEET
2	CDPA/FDPA - RZ /CDP /FDP
3	GENERAL NOTES AND COMMENTS
4	EXISTING CONDITION AND EXISTING VEGETATION MAP
5	LANDSCAPE PLAN
6	LANDSCAPE DETAILS
7	TREE PRESERVATION PLAN
8	TREE INVENTORY AND CONDITION ANALYSIS
9	TREE INVENTORY AND CONDITION ANALYSIS
10	TREE PRESERVATION DETAILS
11	SITE AMENITIES
12	PERSPECTIVE
13	SITE SECTIONS
14	STORMWATER MANAGEMENT COMPUTATIONS
15	STORMWATER MANAGEMENT COMPUTATIONS
16	STORMWATER QUALITY COMPUTATIONS
17	FIRELAND AND TURNING ANALYSIS
18	FRONTAGE IMPROVEMENTS AND SIGHT DISTANCE
19	SERVICE DRIVE PLAN AND PROFILE
20	LEE HIGHWAY CROSS SECTIONS

ENGINEER/LANDSCAPE ARCHITECT/PLANNER

THE BC CONSULTANTS
12600 Fair Lakes Circle
Suite 100
Fairfax, Virginia 22033
Telephone 703.449.8100
Fax 703.449.8108

ARCHITECT/AGENT

HORD COPLAN MACHT
750 E. Pratt Street
Suite 1100
Baltimore, MD 21202
Telephone 410-837-7311



SHEET 1 OF 20
PROJECT # 18537.11

SITE TABULATIONS (CONCEPTUAL/FINAL DEVELOPMENT PLAN AMENDMENT FOR PARCELS 31A AND 36B):

EXISTING ZONE:	PARCEL 55-4 (11) PARCEL 31A: R-2C WS
PROPOSED ZONE:	POH-4 WS
PROPOSED USE:	INDEPENDENT LIVING/ASSISTED LIVING FACILITY
GROSS SITE AREA (CSA):	251,596 S.F. ± OR 5.7758 AC. ±
PARCEL 55-4 (11) 31A:	244,737 S.F. OR 5.6184 AC.
PARCEL 55-4 (11) 36B:	6,859 S.F. ± OR 0.1574 AC. ±
GROSS SITE AREA FOR DENSITY CREDIT/FLOOR AREA RATIO:	264,434 S.F. ± OR 6.070 AC. ± *
INDEPENDENT LIVING UNITS: (6.070 AC. x 4 UNITS/AC. x 4 = 97 UNITS MAX.):	92 PROVIDED
ASSISTED LIVING UNITS (SECONDARY USE):	78
TOTAL UNITS:	170 PROVIDED
DENSITY PROVIDED:	15.16 UNITS/AC. (INDEPENDENT LIVING UNITS ONLY)
TOTAL GROSS FLOOR AREA (FOR INFORMATION ONLY):	165,000 S.F.
INDEPENDENT LIVING GROSS FLOOR AREA:	118,000 S.F. (INCLUDED ABOVE)
ASSISTED LIVING GROSS FLOOR AREA (SECONDARY USE):	55,000 S.F. (INCLUDED ABOVE)
MAXIMUM FLOOR AREA RATIO ALLOWED:	0.30 (R-4 ZONE FOR USES OTHER THAN RESIDENTIAL OR PUBLIC)
FLOOR AREA RATIO PROVIDED:	0.21 (EXCLUDES RESIDENTIAL GROSS FLOOR AREA)

PARKING SPACES REQUIRED:	INDEPENDENT LIVING: 1 SP/4 UNITS + 1 SP/EMPLOYEE 23 (92/4) + 15 EMPLOYEES	38 SPACES
	ASSISTED LIVING: 1 SP/3 RESIDENTS + 1 SP/EMPLOYEE 26 (78/3) + 25 EMPLOYEES	51 SPACES
PARKING SPACES PROVIDED:	INDEPENDENT LIVING: 54 SPACES **	
	ASSISTED LIVING: 53 SPACES **	
LOADING SPACES REQUIRED:	3 LOADING SPACES ***	
LOADING SPACES PROVIDED:	ONE LOADING SPACE ****	
MAXIMUM BUILDING HEIGHT:	40' (R-4 ZONE FOR OTHER STRUCTURES)	
PROPOSED BUILDING HEIGHT:	55'	
OPEN SPACE REQUIRED:	1.155 AC. (20% OF CSA)	
OPEN SPACE PROVIDED:	3.70 AC. ± (64.1% ± OF CSA)	
DEVELOPED RECREATIONAL OPEN SPACE:	0.23 AC. ± (4.0% ± OF CSA) (INCLUDED ABOVE)	

* INCLUDES 18,085 S.F. PREVIOUSLY DEDICATED FOR PUBLIC STREET PURPOSES FOR LEE HIGHWAY (ROUTE 28) AND 1,612 S.F. PREVIOUSLY DEDICATED FOR PUBLIC STREET PURPOSES FOR CROUCH DRIVE (ROUTE 10075). EXCLUDES 6,859 S.F. FOR PARCEL 36B.

** INCLUDES 2 STANDARD ACCESSIBLE PARKING SPACES AND ONE VAN ACCESSIBLE PARKING SPACE FOR EACH USE.

*** ONE SPACE FOR THE FIRST 10,000 S.F. OF GROSS FLOOR AREA PLUS ONE SPACE FOR EACH ADDITIONAL 100,000 S.F. OR MAJOR TRACTOR THEREOF.

**** SEE GENERAL NOTE 5 ON SHEET 3.

SITE TABULATIONS (REZONING/CDP/FDP FOR PARCEL 36B ONLY):

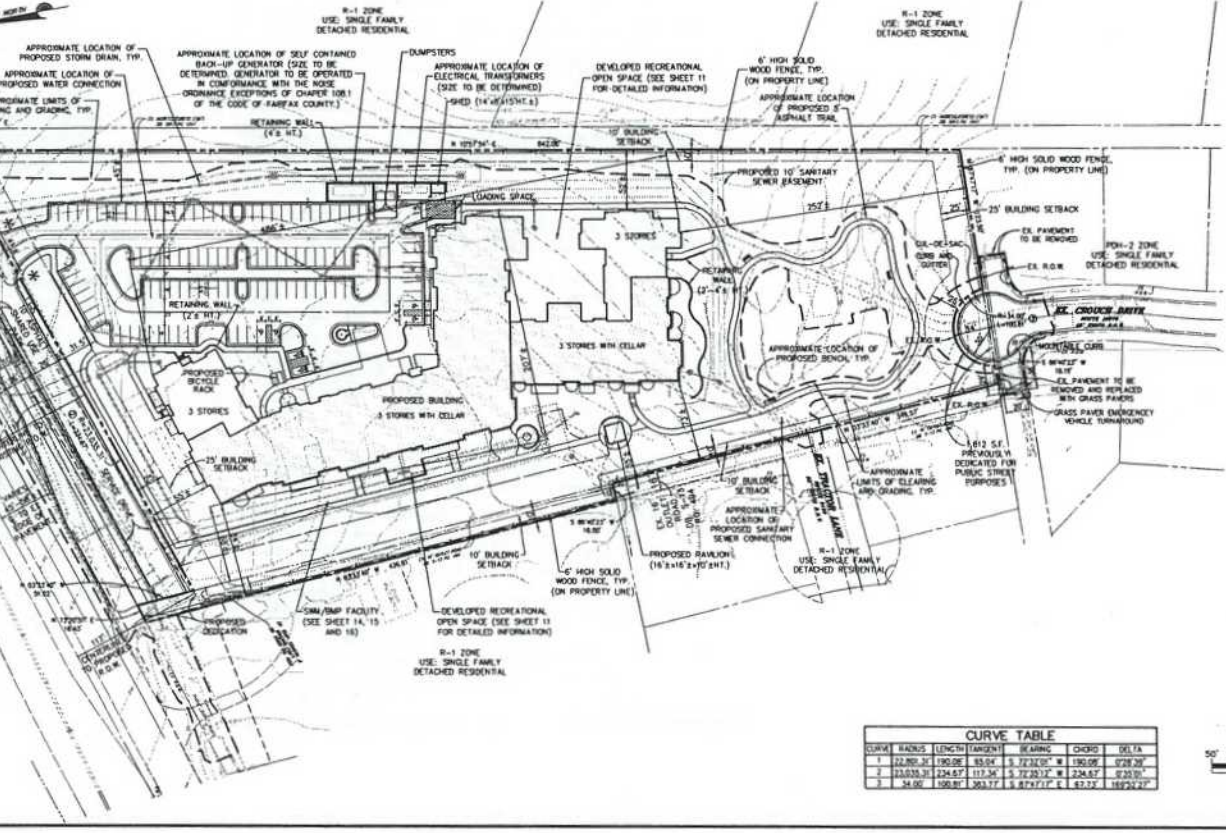
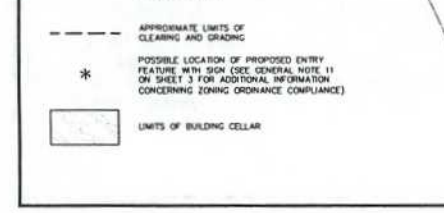
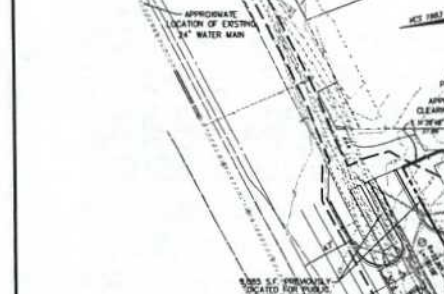
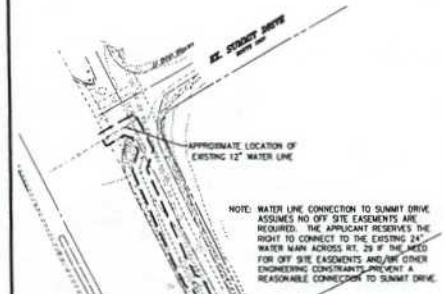
EXISTING ZONE:	R-2C WS
PROPOSED ZONE:	POH-4 WS
PROPOSED USE:	OPEN SPACE ONLY
GROSS SITE AREA (CSA):	6,859 S.F. ± OR 0.1574 AC. ±
GROSS SITE AREA FOR DENSITY CREDIT/FLOOR AREA RATIO:	NOT APPLICABLE (EXCLUDED FROM CDP/FDP)
DENSITY PROVIDED:	NOT APPLICABLE
FLOOR AREA RATIO PROVIDED:	NOT APPLICABLE
PARKING SPACES REQUIRED:	NOT APPLICABLE
LOADING SPACES REQUIRED:	NOT APPLICABLE
OPEN SPACE REQUIRED:	0.031 AC. (20% OF CSA)
OPEN SPACE PROVIDED:	0.1574 AC. (100% OF CSA)
DEVELOPED RECREATIONAL OPEN SPACE:	NONE

BC Consultants
 Planners • Engineers • Surveyors • Landscape Architects
 12650 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
 (703) 449-8100 (Fax)
 www.bcconsultants.com



CONCEPTUAL/FINAL DEVELOPMENT PLAN AMENDMENT
 REZONING-CONCEPTUAL/FINAL DEVELOPMENT PLAN
BRIGHTVIEW FAIR OAKS
 DEVELOPMENT, LLC
 FAIRFAX COUNTY, VIRGINIA

DESIGNED BY: PLR
 DRAFTED BY: CAD
 CHECKED BY: DDD
 DATE: SEPTEMBER 3, 2019
 SCALE: 1/4" = 1'-0"
 SHEET 2 OF 20
 CO. NO.:
 CAD NAME: 16537-PCA
 LAYOUT: PCA
 FILE NO.: 16537-11

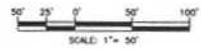


LEGEND:

- EXISTING TREELINE
- LIMITS OF FULLY EXPOSED CELLAR
- APPROXIMATE LIMITS OF CLEARING AND GRADING
- * POSSIBLE LOCATION OF PROPOSED ENTRY FEATURE WITH SIGN (SEE GENERAL NOTE 11 ON SHEET 3 FOR ADDITIONAL INFORMATION CONCERNING ZONING ORDINANCE COMPLIANCE)
- LIMITS OF BUILDING CELLAR

CURVE TABLE

CURVE	BEARING	LENGTH (FEET)	PI	CHORD	DELTA
1	22.80° S	190.06	55.04	5.72/200°	150.06
2	116.53° S	224.67	117.34	5.72/200°	224.67
3	34.00° S	150.87	203.77	5.87/211°	169.24

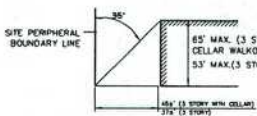


GENERAL NOTES:

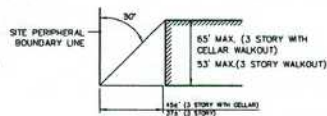
- THE PROPERTY DELINEATED ON THIS PROFFERED CONDITION AMENDMENT (PCA) IS IDENTIFIED ON FARFAX COUNTY TAX ASSESSMENT MAP NO. 35-4 (11), PARCELS 31A AND 36B. PARCEL 31A IS ZONED PDH-4 AND PARCEL 36B IS ZONED R-2C.
- THE BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY BY BC CONSULTANTS DATED DECEMBER 20, 2016.
- THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS FROM AN AERIAL TOPOGRAPHIC SURVEY CONDUCTED BY WOKENZE SNYDER IN DECEMBER 2016 AND FIELD VERIFIED BY BC CONSULTANTS. THE TOPOGRAPHY IS SHOWN AT TWO (2) FEET CONTOUR INTERVALS.
- THE PROPERTY SHOWN ON THIS PCA IS IN THE SPRINGFIELD MAGISTERIAL DISTRICT, LITTLE ROCKY S-1 SEWER DISTRICT AND THE LITTLE ROCKY RUN WATERSHED.
- TO THE BEST OF OUR KNOWLEDGE THIS DEVELOPMENT IS IN CONFORMANCE WITH THE FARFAX COUNTY COMPREHENSIVE PLAN AND WILL CONFORM TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS AND CONDITIONS WITH THE EXCEPTION OF THE FOLLOWING REQUESTS PREVIOUSLY APPROVED WITH RZ-2017-SP-017 AND TO BE REAPPROVED WITH THIS PCA:
 - MODIFICATION OF THE TRANSITIONAL SCREENING PLANTING REQUIREMENTS ALONG ALL PROPERTY BOUNDARIES IN FAVOR OF USING THE EXISTING VEGETATION SUPPLEMENTED WITH THE PROPOSED PLANTINGS AS SHOWN ON THE LANDSCAPE PLAN.
 - MODIFICATION OF THE PLACEMENT OF THE TYPE D BARRIER REQUIREMENT TO RELOCATE TO THE PERIPHERY OF THE PROPERTY LINES ON THE EAST, SOUTH, AND WEST SIDES OF THE PROPERTY AS SHOWN ON THE PLAN.
 - WAIVER OF THE BARRIER REQUIREMENT ALONG THE NORTHERN PROPERTY BOUNDARY.
 - MODIFICATION OF THE LOADING SPACE REQUIREMENTS TO PROVIDE ONLY ONE LOADING SPACE.
 - MODIFICATION CONSTRUCTION REQUIREMENTS FOR THE SERVICE DRIVE ALONG LEE HIGHWAY TO PROVIDE A SERVICE DRIVE AS SHOWN ON THE PLAN.
 - MODIFICATION OF THE CONSTRUCTION REQUIREMENTS FOR THE SHARED USE PATH ALONG LEE HIGHWAY TO PROVIDE A SHARE USE PATH AS SHOWN ON THE PLAN.
 - WAIVER OF THE CONSTRUCTION REQUIREMENTS FOR THE SIDEWALK ALONG LEE HIGHWAY.
 - WAIVER OF THE REQUIREMENT TO PROVIDE INTERPARCEL ACCESS TO THE EAST AND WEST.
- ACCORDING TO THE FARFAX COUNTY-COUNTYWIDE TRAILS PLAN (ADOPTED BY THE BOARD OF SUPERVISORS JUNE 17, 2022), NO TRAILS ARE PLANNED ALONG THE PROPERTY.
- THE FARFAX COUNTY WATER AUTHORITY IS THE PUBLIC WATER SUPPLY AGENCY FOR THIS DEVELOPMENT. THE COUNTY OF FARFAX IS THE SANITARY SEWER SUPPLY AGENCY FOR THIS DEVELOPMENT.
- ACCORDING TO TAX RECORDS AND/OR DEEDS AND INFORMATION OF RECORD, THERE ARE NO KNOWN EXISTING UNDERGROUND UTILITIES OR EXISTING UTILITY EASEMENTS OF 25' OR MORE. NO TITLE REPORT HAS BEEN FURNISHED.
- THE APPROXIMATE LOCATION OF PROPOSED UTILITIES ARE SHOWN ON THE PLAN. THE FINAL SIZES, LOCATIONS AND EASEMENTS WILL BE DETERMINED AT THE SITE PLAN PHASE DEPENDING ON FINAL ENGINEERING AND ARCHITECTURAL DESIGN.
- THE PROPOSED LIMITS OF CLEARING AND GRADING ARE SHOWN ON THE PLAN. THESE LIMITS ARE APPROXIMATE AND SUBJECT TO ADJUSTMENT AT THE TIME OF FINAL GRADING, ENGINEERING AND LOCATION OF PROPOSED UTILITIES. WHERE THE LIMITS OF CLEARING AND GRADING ARE SHOWN ADJACENT TO A PROPERTY LINE, IT SHOULD BE ASSUMED THAT THE LIMITS EXTEND TO THE PROPERTY LINE. ALL OFF-SITE GRADING IS WITHIN EXISTING UTILITY EASEMENTS OR PUBLIC RIGHT-OF-WAYS. ADJACENT PROPERTY OWNERS WILL BE NOTICED ACCORDINGLY PRIOR TO CLEARING AND GRADING. IF FOR ANY REASON GRADING IS REQUIRED OFF-SITE AND OUTSIDE OF EXISTING UTILITY EASEMENTS OR PUBLIC RIGHT-OF-WAYS THEN A LETTER OF PERMISSION WILL OBTAINED FROM THE APPROPRIATE PROPERTY OWNER.
- THE APPROXIMATE LOCATIONS OF TWO (2) ENTRY FEATURES ARE SHOWN ON THE PLAN. ONLY ONE (1) ENTRY FEATURE WILL INCLUDE A SIGN. THE FINAL SIGN PROVIDED SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 12, (SIGNS) OF THE ZONING ORDINANCE.
- THE APPROXIMATE LOCATION OF A PROPOSED CONSERVATION EASEMENT IS SHOWN ON THE PLAN. THE FINAL LOCATION OF THE EASEMENT WILL BE DETERMINED AT THE SITE PLAN PHASE DEPENDING ON FINAL ENGINEERING.
- WORKFORCE DWELLING UNITS WILL BE PROVIDED.
- PAVING WILL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 11 OF THE ZONING ORDINANCE. THE APPLICANT RESERVES THE RIGHT TO DECREASE THE NUMBER OF PARKING SPACES REPRESENTED IN THE SITE TABULATIONS SO LONG AS THE RESULTANT NUMBER OF SPACES SATISFIES THE MINIMUM NUMBER PRESCRIBED BY THE APPLICABLE PROVISIONS IN THE ZONING ORDINANCE.
- IT IS UNDERSTOOD THAT ADDITIONAL SITE FEATURES SUCH AS, BUT NOT LIMITED TO, BENCHES, WALKWAYS, FLAGPOLES, BICYCLE RACKS, TRELLISES, WATER FOUNTAINS OR FEATURES, SIGNS, RETAINING WALLS (LESS THAN FOUR (4) FEET IN HEIGHT), FENCES, LIGHT STANDARDS AND/OR UTILITY MAINTENANCE STRUCTURES AND STRUCTURES ACCESSORY TO THE PRINCIPAL USES NOT REPRESENTED ON THIS PLAN MAY BE PROVIDED AS LONG AS THE RESULTANT PROPOSED DEVELOPMENT IS IN SUBSTANTIAL CONFORMANCE WITH THAT REPRESENTED ON THIS PLAN.
- THE OWNER OF PARCEL 31A IS BRIGHTVIEW FAIR OAKS, LLC. THE OWNER OF PARCEL 36B IS BRIGHTVIEW FAIR OAK OUTLET ROAD, LLC.

ZONING ORDINANCE, ARTICLE 16-502, PARAGRAPH 10 COMMENTS:

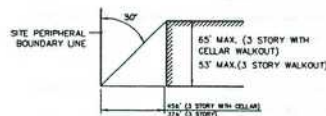
1. VIGNITY MAP AS SHOWN ON SHEET 1.
 2. BEARING AND DISTANCES OF THE PERIMETER PROPERTY LINES AS SHOWN ON THE PLAN.
 3. SEE THE SITE TABULATIONS ON SHEET 2 FOR THE TOTAL AREA OF THE PROPERTY.
 4. SCALE AND NORTH ARROW AS SHOWN ON THE PLAN.
 5. NAMES AND ROUTE NUMBERS OF BOUNDARY STREETS AND THE WIDTH OF EXISTING RIGHT(S)-OF WAY AS SHOWN ON THE PLAN. PROPOSED IMPROVEMENTS TO THE PUBLIC RIGHT(S) OF WAY AND DELINEATION OF THE EXISTING CENTERLINE WITH ALL REQUIRED DIMENSIONS ARE AS SHOWN ON THE PLAN OR AS SHOWN ON SHEET 2.
 6. REFER TO GENERAL NOTE 3 FOR INFORMATION CONCERNING EXISTING TOPOGRAPHY.
 7. THE LOCATION AND ARRANGEMENT OF ALL PROPOSED USES ARE AS SHOWN ON THE PLAN.
 8. REFER TO THE SITE TABULATIONS ON SHEET 2 FOR THE PROPOSED BUILDING HEIGHT.
 9. THE DISTANCES OF ALL STRUCTURES FROM THE DEVELOPMENT BOUNDARIES AND STREETS ARE AS SHOWN ON THE PLAN.
 10. SEE ELSEWHERE ON THIS SHEET FOR ANGLE OF BULK PLANE REQUIREMENTS.
 11. THE TRAFFIC CIRCULATION SYSTEM, THE PEDESTRIAN CIRCULATION SYSTEM AND ALL REQUIRED DIMENSIONS ARE AS SHOWN ON THE PLAN. REFER TO GENERAL NOTE 6 FOR INFORMATION CONCERNING ALL TRAILS REQUIRED BY THE ADOPTED COMPREHENSIVE PLAN.
 12. OFF-STREET PARKING AS SHOWN ON THE PLAN AND AS LISTED IN THE SITE TABULATIONS ON SHEET 2.
 13. OPEN SPACE AREAS INCLUDING SPECIFIC TYPES OF DEVELOPED RECREATIONAL FACILITIES ARE AS SHOWN ON THE PLAN.
 14. REFER TO SHEET 3 FOR LANDSCAPE INFORMATION INCLUDING THE APPROXIMATE LIMITS OF CLEARING AND GRADING, THE DESIGN OF ALL SCREENING MEASURES AND THE TYPE AND HEIGHT OF SUCH SCREENINGS ARE AS SHOWN ON THE PLAN OR PROVIDED IN THE SECTIONS SHOWN ON SHEET 1.3. SEE SHEET 4 FOR INFORMATION CONCERNING EXISTING VEGETATION.
 15. THERE ARE NO KNOWN GRAVES OR PLACES OF BURIAL ON THE SITE.
 16. REFER TO GENERAL NOTE 9 FOR INFORMATION CONCERNING PUBLIC UTILITIES.
 17. REFER TO SHEETS 14, 15 AND 16 FOR ALL REQUIRED STORMWATER MANAGEMENT INFORMATION.
 18. REFER TO GENERAL NOTE 8 FOR INFORMATION CONCERNING ALL EXISTING UNDERGROUND UTILITIES AND ALL ALL EXISTING UTILITY EASEMENT OF 25' OR MORE.
 19. THERE ARE NO FLOODPLAINS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, UNITED STATES GEOLOGICAL SURVEY OR FARFAX COUNTY ON THE SITE. THERE IS NO AREA OF BFA LOCATED ON THE SITE. NO LAND ON THE SITE MEETS THE CRITERIA FOR DESIGNATION AS AN ENVIRONMENTAL QUALITY CORRIDOR (EQC) AS DEFINED IN THE POLICES OF ENVIRONMENT OBJECTIVE 9 OF THE FARFAX COUNTY COMPREHENSIVE PLAN, 2011 EDITION.
 20. THE PROPOSED FACILITY WILL BE DEVELOPED ENTIRELY IN ONE (1) PHASE. FINAL CONSTRUCTION WILL DEPEND ON MARKET CONDITIONS.
- REFER TO THE SITE TABULATIONS ON SHEET 2 FOR INFORMATION CONCERNING THE TOTAL NUMBER AND TYPE OF DWELLING UNITS, DENSITY, TOTAL OPEN SPACE AREA, TOTAL DEVELOPED OPEN SPACE AREA AND NUMBER OF REQUIRED OFF-STREET PARKING SPACES. BONUS DENSITY IS NOT APPLICABLE TO THIS APPLICATION.
 - A MAP IDENTIFYING CLASSIFICATION OF SOIL TYPES IS SHOWN ON SHEET 1.
 - ARCHITECTURAL SKETCHES ARE INCLUDED.
 - ON-SITE HAZARDOUS OR TOXIC SUBSTANCES ARE SUBJECT TO FURTHER INVESTIGATION AND POTENTIAL REMEDIATION, IF WARRANTED. FOR ANY SUBSTANCES FOUND, THEIR METHODS OF DISPOSAL SHALL ADHERE TO COUNTY, STATE AND/OR FEDERAL LAW.
 - REFER TO GENERAL NOTE 3 FOR INFORMATION CONCERNING THIS DEVELOPMENT'S CONFORMANCE TO ALL APPLICABLE ORDINANCES AND STANDARDS.
 - AFFIDAVITS TO BE SUBMITTED UNDER SEPARATE COVER.
 - THE SITE IS NOT WITHIN OR IN THE VICINITY OF A HISTORIC OVERLAY DISTRICT.



FRONT YARD ANGLE OF BULK PLANE FOR THE R-4/POH-4 ZONE



SIDE YARD ANGLE OF BULK PLANE FOR THE R-4/POH-4 ZONE



REAR YARD ANGLE OF BULK PLANE FOR THE R-4/POH-4 ZONE

ANGLE OF BULK PLANE

NO SCALE

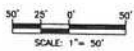
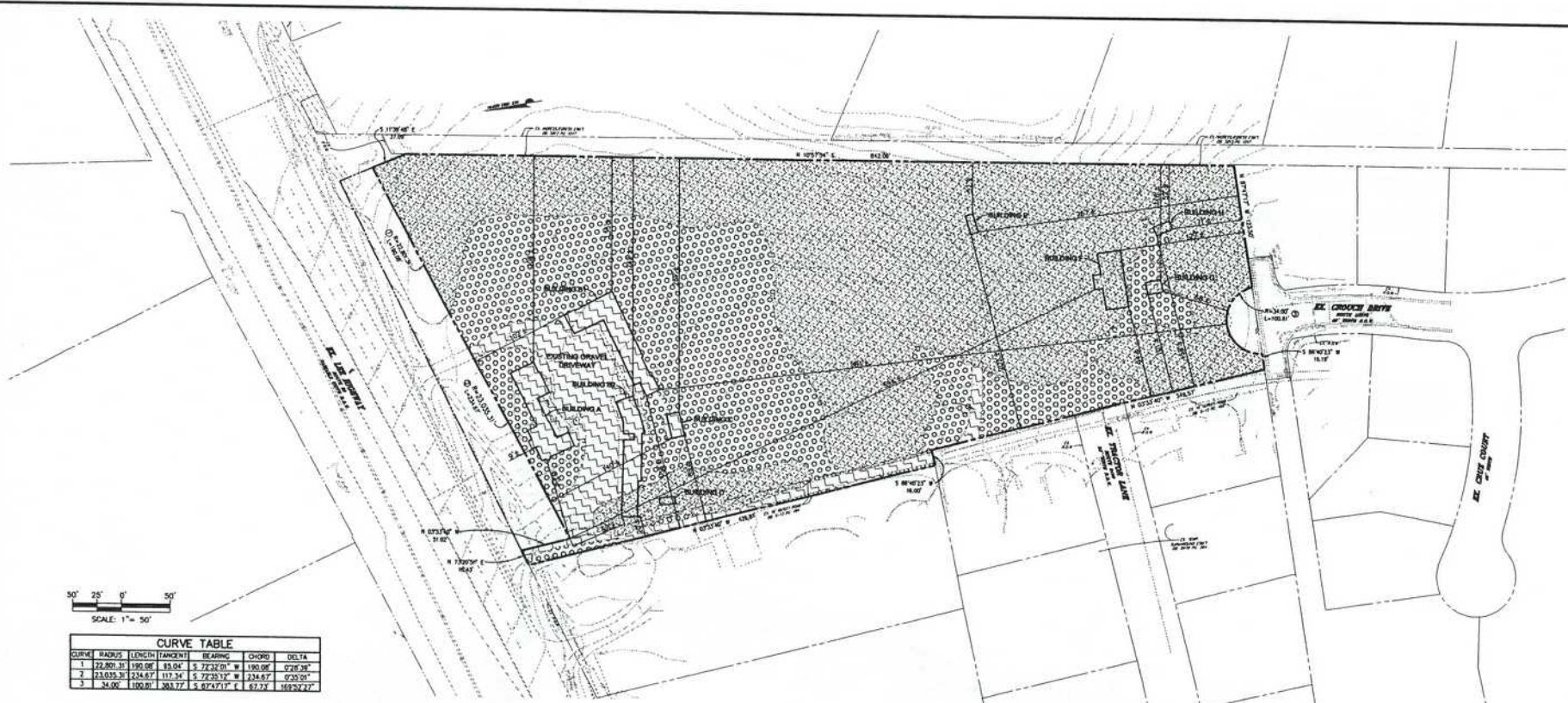
BC Consultants
 Planner • Engineer • Surveyor • Landscape Architect
 12000 Frying Pan Road, Suite 101, VA 22033
 (703) 448-1100
 www.bccon.com



GENERAL NOTES AND COMMENTS
BRIGHTVIEW FAIR OAKS
 DEVELOPMENT, LLC
 FARFAX COUNTY, VIRGINIA

DESIGNED BY: PLR
 DRAFTED BY: CAD
 CHECKED BY: DDD
 DATE: SEPTEMBER 3, 2019
 SCALE: HOR
 VERT

SHEET 3 OF 20
 CO. NO.
 CAD NAME: 16537-PCA-NOTES
 LAYOUT: NOTES
 FILE NO: 16537-11








CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
1	22,801.31	190.08	15.04	S 72°32'01" W	190.08	0°28'38"
2	23,053.31	224.87	17.24	S 72°30'57" W	224.67	0°30'01"
3	34,000	190.08	203.77	S 67°47'17" E	67.57	169°32'27"

EXISTING VEGETATION MAP SUMMARY TABLE AND NARRATIVE

COVER TYPE	PRIMARY SPECIES	SUCCESSIONAL STAGE	CONDITION	AREA (Ac.±)	NARRATIVE
2	Maple Tulip Poplar Oak	Mature	Fair/Good	3.27	THIS AREA IS DOMINATED BY MAPLE, TULIP POPULAR, OAK, AND SOME BLACK LOCUST. TREES IN THIS COVER TYPE RANGE FROM 8' TO 42' DBH. THIS COVER TYPE IS FOUND MOSTLY ALONG THE PROPERTY LINES AND ABANDONED FENCE ROWS. THE OVERALL QUALITY OF THE TREES IS FAIR TO GOOD.
5	N/A	N/A	N/A	0.71	AREAS OF CONSTRUCTED FEATURES INCLUDING BUILDINGS, PARKING AND ROADWAYS.
6	N/A	N/A	N/A	1.80	GRASSED AND LANDSCAPED AREAS, ATHLETIC FIELDS OR OTHER GREEN AREAS DEVOID OF NATURAL VEGETATION.
Total: 5.78 Ac.±					

LEGEND:

-  COVER TYPE 2 (UPLAND FOREST)
-  COVER TYPE 5 (DEVELOPED LAND)
-  COVER TYPE 6 (MAINTAINED GRASSLAND)
-  EXISTING PRE-DEVELOPMENT TREE CANOPY (142,550 s.f.)
-  EXISTING TREELINE

EXISTING BUILDING INVENTORY

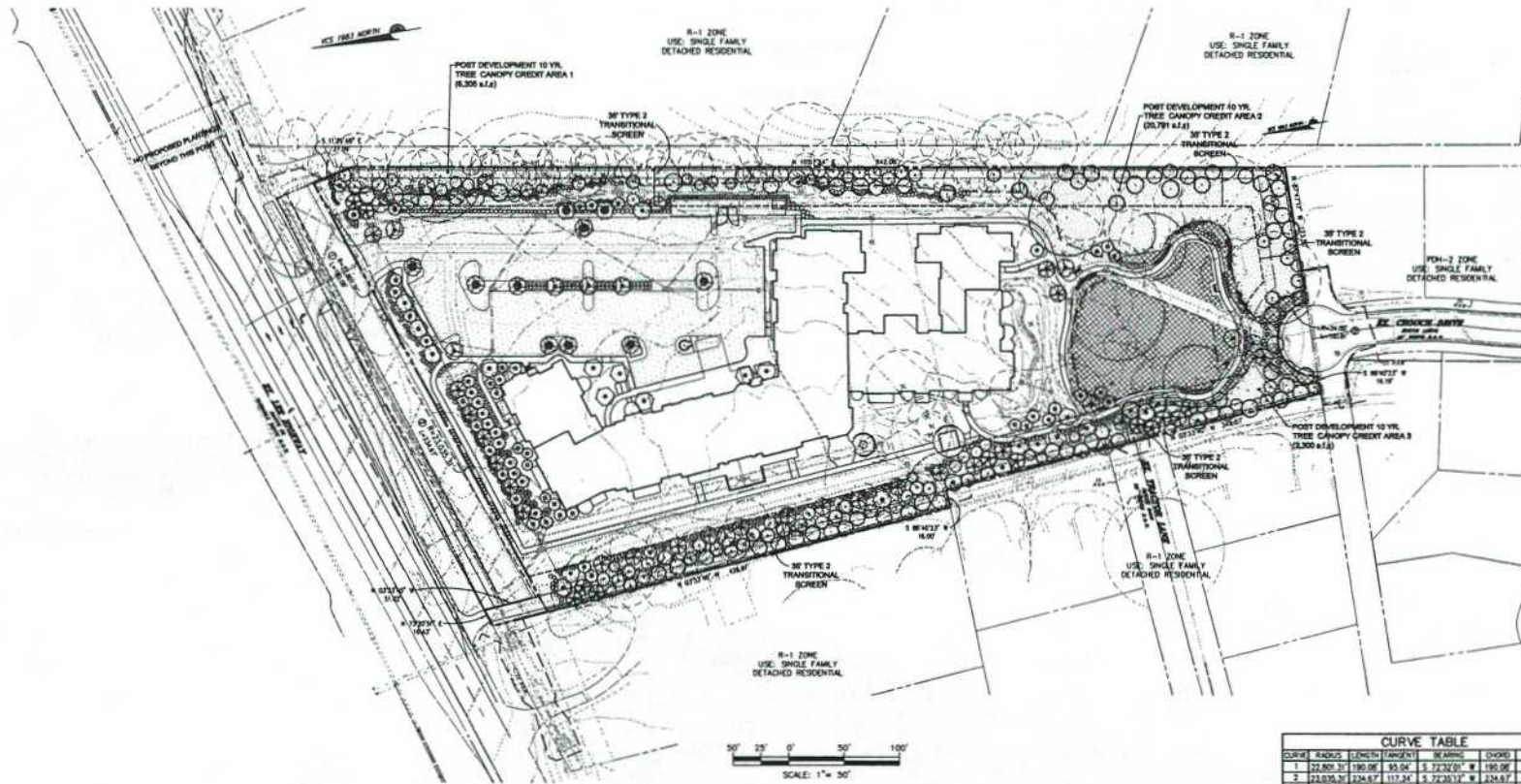
STRUCTURE	TYPE	SIZE	DATE OF CONSTRUCTION	STATUS
BUILDING A	1 STORY BRICK	41'x95'x15HT.±	UNKNOWN	TO BE REMOVED
BUILDING B1	1 STORY BRICK	53'x110'x15HT.±	UNKNOWN	TO BE REMOVED
BUILDING B2	1 STORY BRICK	26'x23'x15HT.±	UNKNOWN	TO BE REMOVED
BUILDING C	1 STORY SHED	13'x25'x8HT.±	UNKNOWN	TO BE REMOVED
BUILDING D	1 STORY SHED	15'x18'x8HT.±	UNKNOWN	TO BE REMOVED
BUILDING E	1 STORY TRAILER/SHED	8'x19'x8HT.±	UNKNOWN	TO BE REMOVED
BUILDING F	1 STORY BRICK	24'x58'x15HT.±	UNKNOWN	TO BE REMOVED
BUILDING G	1 STORY SHED	10'x12'x8HT.±	UNKNOWN	TO BE REMOVED
BUILDING H	1 STORY SHED	9'x18'x8HT.±	UNKNOWN	TO BE REMOVED

BC Consultants
 Planners • Engineers • Surveyors • Landscape Architects
 12800 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
 (703)448-8100 (Fax)
 www.bccorp.com



EXISTING CONDITIONS AND EXISTING VEGETATION MAP
BRIGHTVIEW FAIR OAKS
 DEVELOPMENT, LLC
 FAIRFAX COUNTY, VIRGINIA

DESIGNED BY: PLR
 DRAFTED BY: CAD
 CHECKED BY: DDD
 DATE: SEPTEMBER 3, 2019
 SCALE: HOR. 1" = 50'
 VERT. 1" = 10'
 SHEET 4 OF 20
 CO. NO.
 CAD NAME: 16537-PCA-EW
 LAYOUT: EVM
 FILE NO: 16537.11



CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	ARC	DELTA
1	22,800.3'	190.06'	55.04'	5.723201°	109.06'
2	23,030.3'	224.67'	117.34'	5.723017°	124.67'
3	34.00'	100.81'	36.37'	5.874717°	67.37'

LEGEND:



LANDSCAPE GENERAL NOTES:

- ALL PROPOSED TREES SHALL BE PLANTED 4' AWAY FROM ANY RESTRICTIVE BARRIERS (PPM 12-0515-18) OR 8' AWAY FROM STORM DRAINAGE EASEMENTS (PPM 12-0515-08).
- PROPOSED PLANTING WITHIN THE 10-YEAR TREE CANOPY CREDIT AREA SHALL BE FIELD ADJUSTED TO MINIMIZE DISTURBANCE OF EXISTING VEGETATION.
- SEE SHEET 7 FOR TREE PRESERVATION PLAN, SHEETS 8 AND 9 FOR TREE IDENTIFICATION AND CONDITION ANALYSIS AND SHEET 10 FOR TREE PRESERVATION NARRATIVE AND DETAILS.
- SEE SHEET 8 FOR THE 10-YEAR TREE CANOPY CALCULATIONS, PLANT LIST, PLANTING DETAILS AND TRANSITIONAL SCREENING CALCULATIONS.
- TREES WITHIN THE LIMITS OF CLEARING AND GRADING SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- PRIOR TO THE INSTALLATION OF PLANTS TO MEET REQUIREMENTS OF THE APPROVED LANDSCAPE PLAN, THE CONTRACTOR/DEVELOPER SHALL COORDINATE A PRE-INSTALLATION MEETING ON SITE WITH THE LANDSCAPE CONTRACTOR AND A REPRESENTATIVE OF THE COUNTY URBAN FOREST MANAGEMENT DIVISION (UFMD). ANY PROPOSED CHANGES TO THE LOCATION OF PLANTING, SIZE OF TREES/SHRUBS, AND ANY PROPOSED PLANT SUBSTITUTIONS FOR SPECIES SPECIFIED ON THE APPROVED PLAN SHALL BE REVIEWED AT THIS TIME AND MUST BE APPROVED PRIOR TO PLANTING. THE INSTALLATION OF PLANTS NOT SPECIFIED ON THE APPROVED PLAN, AND NOT PREVIOUSLY APPROVED BY UFMD, MAY REQUIRE SUBMISSION OF A REVISION TO THE LANDSCAPE PLAN OR REMOVAL AND REPLACEMENT WITH APPROVED MATERIAL, PRIOR TO BOND RELEASE. UFMD SHALL BE CONTACTED (703-324-1776) A MINIMUM OF THREE (3) DAYS PRIOR TO THE MEETING ON SITE.

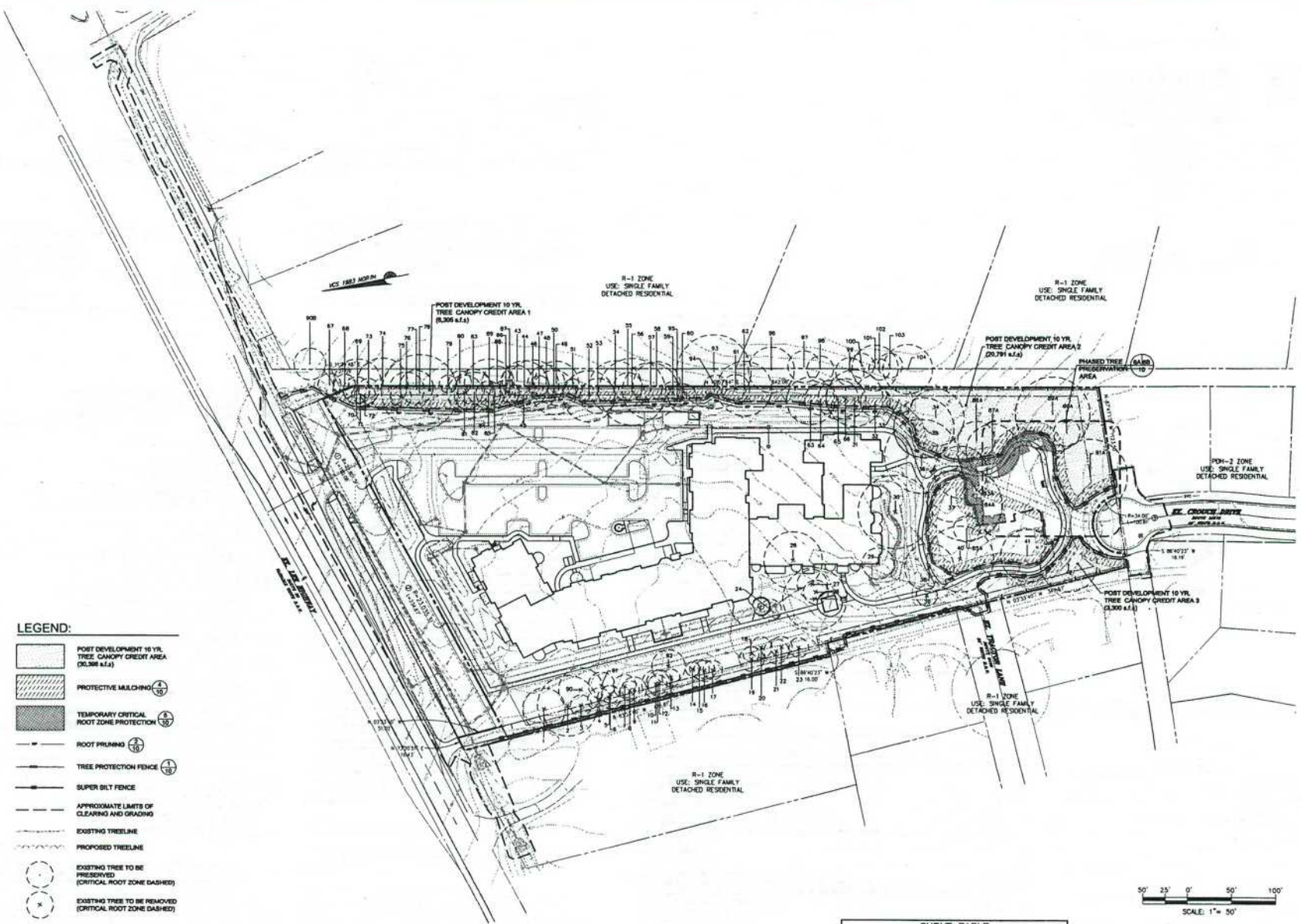
BC Consultants
 Professional Engineer - Landscape Architecture
 12800 Fair Lakes Blvd., Suite 100, Fairfax, VA 22033
 (703) 448-8100 (Tel) (703) 448-8108 (Fax)
 www.bccon.com



LANDSCAPE PLAN
BRIGHTVIEW FAIR OAKS
 DEVELOPER: LSC
 FAIRFAX COUNTY, VIRGINIA

DESIGNED BY: PLR
 CHECKED BY: CJD
 DATE: SEPTEMBER 3, 2019
 SCALE: 1/8" = 1' - 0"
 SHEET 5 OF 20

CO. NO.
 CAD NAME: 16537-PCA-LSC
 LAYOUT: LSC-1
 FILE NO: 16537.11



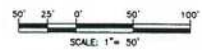
LEGEND:

- POST DEVELOPMENT 10 YR TREE CANOPY CREDIT AREA (0.266 A.S.)
- PROTECTIVE MULCHING (1/8)
- TEMPORARY CRITICAL ROOT ZONE PROTECTION (1/8)
- ROOT PRUNING (1/8)
- TREE PROTECTION FENCE (1/8)
- SUPER SILT FENCE
- APPROXIMATE LIMITS OF CLEARING AND GRADING
- EXISTING TREELINE
- PROPOSED TREELINE
- EXISTING TREE TO BE PRESERVED (CRITICAL ROOT ZONE DASHED)
- EXISTING TREE TO BE REMOVED (CRITICAL ROOT ZONE DASHED)

SEE SHEETS 8 AND 9 FOR TREE INVENTORY AND CONDITION ANALYSIS, SHEET 8 FOR TREE PRESERVATION TARGET AND STATEMENT AND SHEET 10 FOR TREE PRESERVATION DETAILS AND NARRATIVE.

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
1	22,802.31	190.08	85.04	S 72°32'01" W	190.08	0°28'36"
2	23,035.31	224.67	117.34	S 72°30'12" W	224.67	0°20'01"
3	34.00	190.82	283.77	S 87°47'11" E	87.32	182°52'27"



BC Consultants
 Planner, Engineer, Surveyor, Landscape Architect
 12880 Fair Lakes Circle, Fairfax, VA 22033
 (703)444-9100
 www.bccon.com



TREE PRESERVATION PLAN
BRIGHTVIEW FAIR OAKS
 DEVELOPMENT, LLC
 FAIRFAX COUNTY, VIRGINIA

DESIGNED BY: PLR
 DRAFTED BY: CAD
 CHECKED BY: DDD
 DATE: SEPTEMBER 3, 2019
 SCALE: HOR 1" = 30'
 VERT 1" = 10'
 SHEET 7 OF 20
 CO. NO.
 CAD NAME: 16537-PCA-TPP
 LAYOUT: TPP-1
 FILE NO.: 16537.11

BC CONSULTANTS
 Planners • Engineers • Surveyors • Landscape Architects
 12800 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
 (703) 449-8100 (703) 449-8108 (Fax)
 www.bccocon.com



TREE INVENTORY AND CONDITION ANALYSIS
BRIGHTVIEW FAIR OAKS
 DEVELOPMENT, LLC
 FAIRFAX COUNTY, VIRGINIA

REVISIONS
 SHEET 8 OF 20
 DATE: 03/20/13
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 03/20/13
 APPROVED BY: [Name]
 DATE: 03/20/13

PROJECT: BC CONSULTANTS
 DRAWING: [Number]
 SHEET: [Number] OF [Total]
 DATE: [Date]
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: [Date]

Tree #	Species	Size (DBH)	Trunk Hgt (FT)	Condition	Crown Position	Crown Ratio	Life Stage	Crown Density	Status	Activities				Hand Removal	Special Notes / Remarks	Trunk Tagging	Scaffold Branch Pruning	PCL Species N	Notes	
										Tree Protection Fence	Rear Prune	Mulch	* Prune							* Remove Vines
1	acer saccharinum	24	34	75	Horizontal	40	AD	70												
2	Quercus sp.	22	34	80	Horizontal	35	AD	60												
3	Quercus sp.	21	22	55	Horizontal	3	AD	30												
4	Quercus sp.	21	23	55	Horizontal	5	AD	20												
5	Quercus sp.	20	23	25	Horizontal	5	AD	20												
6	Quercus sp.	20	23	25	Horizontal	5	AD	20												
7	Quercus sp.	19	21	15	Horizontal	5	AD	20												
8	Quercus sp.	18	24	45	Horizontal	15	AD	25												
9	Quercus sp.	18	24	45	Horizontal	15	AD	25												
10	Quercus sp.	18	24	45	Horizontal	15	AD	25												
11	Quercus sp.	18	24	45	Horizontal	15	AD	25												
12	Quercus sp.	18	24	45	Horizontal	15	AD	25												
13	Quercus sp.	18	24	45	Horizontal	15	AD	25												
14	Quercus sp.	18	24	45	Horizontal	15	AD	25												
15	Quercus sp.	18	24	45	Horizontal	15	AD	25												
16	Quercus sp.	18	24	45	Horizontal	15	AD	25												
17	Quercus sp.	18	24	45	Horizontal	15	AD	25												
18	Quercus sp.	18	24	45	Horizontal	15	AD	25												
19	Quercus sp.	18	24	45	Horizontal	15	AD	25												
20	Quercus sp.	18	24	45	Horizontal	15	AD	25												
21	Quercus sp.	18	24	45	Horizontal	15	AD	25												
22	Quercus sp.	18	24	45	Horizontal	15	AD	25												
23	Quercus sp.	18	24	45	Horizontal	15	AD	25												
24	Quercus sp.	18	24	45	Horizontal	15	AD	25												
25	Quercus sp.	18	24	45	Horizontal	15	AD	25												
26	Quercus sp.	18	24	45	Horizontal	15	AD	25												
27	Quercus sp.	18	24	45	Horizontal	15	AD	25												
28	Quercus sp.	18	24	45	Horizontal	15	AD	25												
29	Quercus sp.	18	24	45	Horizontal	15	AD	25												
30	Quercus sp.	18	24	45	Horizontal	15	AD	25												
31	Quercus sp.	18	24	45	Horizontal	15	AD	25												
32	Quercus sp.	18	24	45	Horizontal	15	AD	25												
33	Quercus sp.	18	24	45	Horizontal	15	AD	25												
34	Quercus sp.	18	24	45	Horizontal	15	AD	25												
35	Quercus sp.	18	24	45	Horizontal	15	AD	25												
36	Quercus sp.	18	24	45	Horizontal	15	AD	25												
37	Quercus sp.	18	24	45	Horizontal	15	AD	25												
38	Quercus sp.	18	24	45	Horizontal	15	AD	25												
39	Quercus sp.	18	24	45	Horizontal	15	AD	25												
40	Quercus sp.	18	24	45	Horizontal	15	AD	25												
41	Quercus sp.	18	24	45	Horizontal	15	AD	25												
42	Quercus sp.	18	24	45	Horizontal	15	AD	25												

Brightview Lee Highway - Tree Inventory and Condition Analysis



SEE SHEET 7 FOR TREE PRESERVATION PLAN, SHEET 8 FOR TREE PRESERVATION TARGET AND STATEMENT AND SHEET 9 FOR TREE PRESERVATION DETAILS AND RESPONSIBILITY.

NOTE: NO OFF-SITE TREES OR CO-OWNED TREES SHALL BE REMOVED WITHOUT THE PRIOR PERMISSION OF THE ON-SITE OWNER OR CO-OWNER OF THE TREE.

BC Consultants
 Planners • Engineers • Surveyors • Landscape Architects
 12500 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
 (703)449-8100 (703)449-8108 (Fax)
 www.bccoon.com



TREE INVENTORY AND CONDITION ANALYSIS
BRIGHTVIEW FAIR OAKS

DEVELOPMENT, LLC
 FAIRFAX COUNTY, VIRGINIA

ID	Species	DBH	Height	Condition	Notes	Preservation	Remarks
01	Red maple	20	22	Good		Preserve	
02	Red maple	20	22	Good		Preserve	
03	Red maple	20	22	Good		Preserve	
04	Red maple	20	22	Good		Preserve	
05	Red maple	20	22	Good		Preserve	
06	Red maple	20	22	Good		Preserve	
07	Red maple	20	22	Good		Preserve	
08	Red maple	20	22	Good		Preserve	
09	Red maple	20	22	Good		Preserve	
10	Red maple	20	22	Good		Preserve	
11	Red maple	20	22	Good		Preserve	
12	Red maple	20	22	Good		Preserve	
13	Red maple	20	22	Good		Preserve	
14	Red maple	20	22	Good		Preserve	
15	Red maple	20	22	Good		Preserve	
16	Red maple	20	22	Good		Preserve	
17	Red maple	20	22	Good		Preserve	
18	Red maple	20	22	Good		Preserve	
19	Red maple	20	22	Good		Preserve	
20	Red maple	20	22	Good		Preserve	
21	Red maple	20	22	Good		Preserve	
22	Red maple	20	22	Good		Preserve	
23	Red maple	20	22	Good		Preserve	
24	Red maple	20	22	Good		Preserve	
25	Red maple	20	22	Good		Preserve	
26	Red maple	20	22	Good		Preserve	
27	Red maple	20	22	Good		Preserve	
28	Red maple	20	22	Good		Preserve	
29	Red maple	20	22	Good		Preserve	
30	Red maple	20	22	Good		Preserve	
31	Red maple	20	22	Good		Preserve	
32	Red maple	20	22	Good		Preserve	
33	Red maple	20	22	Good		Preserve	
34	Red maple	20	22	Good		Preserve	
35	Red maple	20	22	Good		Preserve	
36	Red maple	20	22	Good		Preserve	
37	Red maple	20	22	Good		Preserve	
38	Red maple	20	22	Good		Preserve	
39	Red maple	20	22	Good		Preserve	
40	Red maple	20	22	Good		Preserve	
41	Red maple	20	22	Good		Preserve	
42	Red maple	20	22	Good		Preserve	
43	Red maple	20	22	Good		Preserve	
44	Red maple	20	22	Good		Preserve	
45	Red maple	20	22	Good		Preserve	
46	Red maple	20	22	Good		Preserve	
47	Red maple	20	22	Good		Preserve	
48	Red maple	20	22	Good		Preserve	
49	Red maple	20	22	Good		Preserve	
50	Red maple	20	22	Good		Preserve	
51	Red maple	20	22	Good		Preserve	
52	Red maple	20	22	Good		Preserve	
53	Red maple	20	22	Good		Preserve	
54	Red maple	20	22	Good		Preserve	
55	Red maple	20	22	Good		Preserve	
56	Red maple	20	22	Good		Preserve	
57	Red maple	20	22	Good		Preserve	
58	Red maple	20	22	Good		Preserve	
59	Red maple	20	22	Good		Preserve	
60	Red maple	20	22	Good		Preserve	
61	Red maple	20	22	Good		Preserve	
62	Red maple	20	22	Good		Preserve	
63	Red maple	20	22	Good		Preserve	
64	Red maple	20	22	Good		Preserve	
65	Red maple	20	22	Good		Preserve	
66	Red maple	20	22	Good		Preserve	
67	Red maple	20	22	Good		Preserve	
68	Red maple	20	22	Good		Preserve	
69	Red maple	20	22	Good		Preserve	
70	Red maple	20	22	Good		Preserve	
71	Red maple	20	22	Good		Preserve	
72	Red maple	20	22	Good		Preserve	
73	Red maple	20	22	Good		Preserve	
74	Red maple	20	22	Good		Preserve	
75	Red maple	20	22	Good		Preserve	
76	Red maple	20	22	Good		Preserve	
77	Red maple	20	22	Good		Preserve	
78	Red maple	20	22	Good		Preserve	
79	Red maple	20	22	Good		Preserve	
80	Red maple	20	22	Good		Preserve	
81	Red maple	20	22	Good		Preserve	
82	Red maple	20	22	Good		Preserve	
83	Red maple	20	22	Good		Preserve	
84	Red maple	20	22	Good		Preserve	
85	Red maple	20	22	Good		Preserve	
86	Red maple	20	22	Good		Preserve	
87	Red maple	20	22	Good		Preserve	
88	Red maple	20	22	Good		Preserve	
89	Red maple	20	22	Good		Preserve	
90	Red maple	20	22	Good		Preserve	
91	Red maple	20	22	Good		Preserve	
92	Red maple	20	22	Good		Preserve	
93	Red maple	20	22	Good		Preserve	
94	Red maple	20	22	Good		Preserve	
95	Red maple	20	22	Good		Preserve	
96	Red maple	20	22	Good		Preserve	
97	Red maple	20	22	Good		Preserve	
98	Red maple	20	22	Good		Preserve	
99	Red maple	20	22	Good		Preserve	
100	Red maple	20	22	Good		Preserve	

1. Diameter at breast height (DBH) measured 4.5 feet above ground.
 2. Tree status for trees with multiple diameters recorded from the diameter of a tree with the largest diameter to the left of the largest diameter for all trees.
 3. Condition status based on percentage of crown canopy retained in the 31 species of the Data by Tree Species, published by the International Society of Arboriculture.
 4. Tree ID: Global tree numbering is based on the proposed development site as a whole or 100' or less of the proposed project. Tree numbering is based on the proposed project.
 5. Tree species: Tree species names are based on the proposed development site as a whole or 100' or less of the proposed project. Tree species names are based on the proposed project.
 6. Tree height: Tree height is based on the proposed development site as a whole or 100' or less of the proposed project. Tree height is based on the proposed project.
 7. Tree condition: Tree condition is based on the proposed development site as a whole or 100' or less of the proposed project. Tree condition is based on the proposed project.
 8. Tree preservation: Tree preservation is based on the proposed development site as a whole or 100' or less of the proposed project. Tree preservation is based on the proposed project.
 9. Tree removal: Tree removal is based on the proposed development site as a whole or 100' or less of the proposed project. Tree removal is based on the proposed project.
 10. Tree relocation: Tree relocation is based on the proposed development site as a whole or 100' or less of the proposed project. Tree relocation is based on the proposed project.
 11. Tree preservation plan: Tree preservation plan is based on the proposed development site as a whole or 100' or less of the proposed project. Tree preservation plan is based on the proposed project.
 12. Tree preservation target: Tree preservation target is based on the proposed development site as a whole or 100' or less of the proposed project. Tree preservation target is based on the proposed project.
 13. Tree preservation details: Tree preservation details are based on the proposed development site as a whole or 100' or less of the proposed project. Tree preservation details are based on the proposed project.
 14. Tree responsibility: Tree responsibility is based on the proposed development site as a whole or 100' or less of the proposed project. Tree responsibility is based on the proposed project.
 15. Tree preservation notes: Tree preservation notes are based on the proposed development site as a whole or 100' or less of the proposed project. Tree preservation notes are based on the proposed project.

1 TREE PROTECTION FENCE
NOT TO SCALE

PRIOR TO ANY CONSTRUCTION ACTIVITY, ALL INDIVIDUAL AND GROUPS OF TREES MARKED FOR PRESERVATION SHALL BE PROTECTED WITH TREE PROTECTION FENCING.

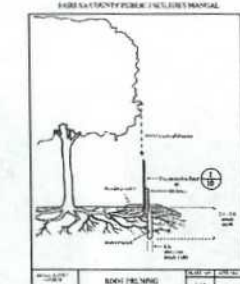
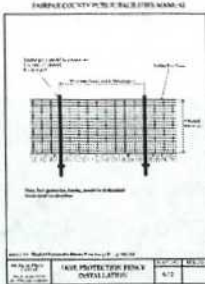
TREE PROTECTION FENCE SHALL BE POSITIONED DIRECTLY IN THE ROOT PRUNING TRENCH AND BACKFILLED FOR STABILITY OR JUST OUTSIDE THE TRENCH WITHIN THE DISTURBED AREA.

TREE PROTECTION FENCING SHALL CONSIST OF FOUR FOOT 14-GAUGE WELDED WIRE FENCE ATTACHED TO SIX FOOT TALL POSTS DRIVEN 18 INCHES INTO THE GROUND. POSTS SHALL BE NO FURTHER THAN 4 FEET APART.

WHERE APPROPRIATE, BASED ON EROSION AND REDBENT CONTROL PLANS, SUPER SILT FENCE MAY BE USED AS TREE PROTECTION FENCING WITH THE APPROVAL OF FAIRFAX COUNTY.

TREE PROTECTION FENCING SHALL BE MADE CLEARLY VISIBLE TO ALL CONSTRUCTION PERSONNEL. SIGNS IN ENGLISH AND SPANISH WHICH STATE "TREE PRESERVATION AREA - KEEP OUT" SHALL BE INSTALLED ON TREE PROTECTION FENCING EVERY 30 FEET.

A CERTIFIED ARBORIST SHALL MONITOR THE INSTALLATION OF TREE PROTECTION FENCING.



2 ROOT PRUNING
NOT TO SCALE

PRIOR TO ANY CONSTRUCTION ACTIVITY, ALL TREES MARKED FOR PRESERVATION ALONG THE LIMITS OF CLEARING AND GRADING SHALL BE ROOT PRUNED WHERE SHOWN ON THE PLAN.

ROOT PRUNING SHALL BE CONDUCTED USING A TRECHER OR VIBRATORY PLOW.

THE ROOT PRUNING TRENCH SHALL BE A MAXIMUM OF 8 INCHES WIDE AND 18-24 INCHES DEEP. ONCE COMPLETED, THE ROOT PRUNING TRENCH SHALL BE IMMEDIATELY BACK-FILLED.

ROOT PRUNING SHALL BE CONDUCTED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.

NO ENTRY

TREE PRESERVATION AREA

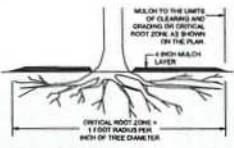
OFF LIMITS TO CONSTRUCTION EQUIPMENT, MATERIAL STORAGE AND WORKERS

PROHIBIDO ENTRAR

ZONA DE PROTECCION DEL ARBOL

TYPICAL SIGNAGE FOR TREE PRESERVATION AREA

NOTE: ALTERNATE SIGNAGE MAY BE SUBMITTED TO FAIRFAX COUNTY FOR APPROVAL.



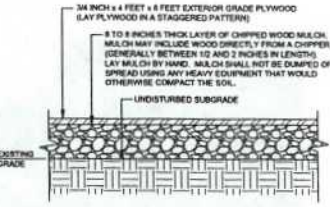
4 PROTECTIVE MULCHING
NOT TO SCALE

MULCH TO THE LIMITS OF CLEARING AND GRADING OR CRITICAL ROOT ZONE AS SHOWN ON THE PLAN.

MULCH SHALL COVER AS MUCH OF THE ENTIRE CRITICAL ROOT ZONE AS POSSIBLE UP TO 10' FROM THE LIMITS OF CLEARING AND GRADING.

MULCH SHALL CONSIST OF A WOODY MATERIAL THAT HAS BEEN CHIPPED OR SHREDED OR OTHER APPROVED MATERIAL.

MULCH SHALL NOT TOUCH THE BASE OF THE TREE.



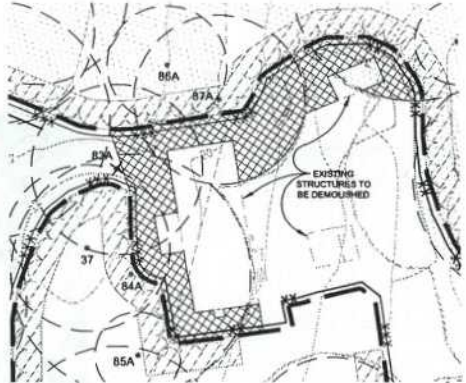
5 TEMPORARY CRITICAL ROOT ZONE PROTECTION
NOT TO SCALE

SITE MONITORING SCHEDULE

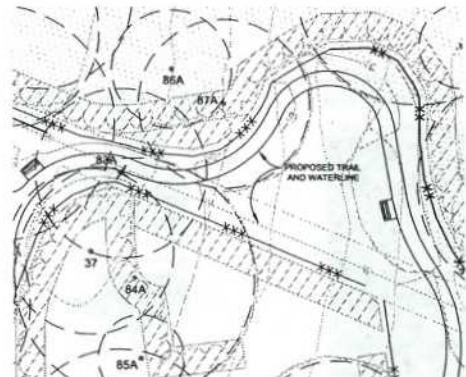
LIST OF DUTIES	DATE	DESCRIPTION OF DUTIES
PRE-CONSTRUCTION MEETING IN FIELD TO WALK LIMITS OF CLEARING AND GRADING	SPECIFIED BY UFMD	PRIOR TO THE PRE-CONSTRUCTION MEETING AND BEFORE ANY CLEARING, GRADING OR DEMOLITION ACTIVITIES HAVE OCCURRED, A CERTIFIED ARBORIST SHALL WALK THE LIMITS OF CLEARING AND GRADING WITH A REPRESENTATIVE FROM FAIRFAX COUNTY'S URBAN FOREST MANAGEMENT DIVISION (UFMD) TO DETERMINE WHERE ADJUSTMENTS TO THE CLEARING LIMITS CAN BE MADE TO INCREASE THE SURVIVABILITY OF TREES TO BE PRESERVED THAT OCCUR ALONG THE EDGE OF THE LIMITS OF CLEARING AND GRADING, AND/OR TO IDENTIFY HAZARDOUS, DAMAGED OR DISEASED TREES THAT NEED TO BE REMOVED.
INSTALLATION OF TREE PROTECTION FENCE	AFTER UFMD'S APPROVAL OF LOCATION	THE INSTALLATION OF ALL TREE PROTECTION FENCING SHALL BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST AND ACCOMPANIED IN A MANNER THAT DOES NOT HARM EXISTING VEGETATION THAT IS REQUIRED TO BE PRESERVED. AT LEAST THREE DAYS PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING OR DEMOLITION ACTIVITIES AND PRIOR TO THE INSTALLATION OF TREE PROTECTION FENCING, UFMD SHALL BE NOTIFIED IN WRITING AND GIVEN THE OPPORTUNITY TO INSPECT THE SITE TO ASSURE THAT ALL INDIVIDUAL TREES TO BE PRESERVED AND ALL AREAS TO BE LEFT UNDISTURBED HAVE BEEN CORRECTLY DELINEATED.
CONSTRUCTION/ SITE ANALYSIS	MONTHLY ANALYSIS OF SITE OR AS SPECIFIED BY UFMD	THE APPLICANT SHALL ACTIVELY MONITOR THE SITE TO ENSURE THAT INAPPROPRIATE ACTIVITIES SUCH AS THE STORAGE OF CONSTRUCTION MATERIALS, DUMPING OF CONSTRUCTION DEBRIS, AND TRAFFIC BY CONSTRUCTION EQUIPMENT AND PERSONNEL DO NOT OCCUR WITHIN THESE AREAS.

TREE PRESERVATION NARRATIVE:

1. ALL WORK PERFORMED IN ASSOCIATION WITH THIS PLAN SHALL MEET OR EXCEED CURRENT INDUSTRY STANDARDS AS PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI), OR THE TREE CARE INDUSTRY ASSOCIATION (TCIA). IN THE EVENT TREATMENTS PRESCRIBED ARE NOT COVERED BY AN EXISTING STANDARD, WORK SHALL MEET OR EXCEED STANDARDS APPROVED BY FAIRFAX COUNTY'S URBAN FOREST MANAGEMENT DIVISION (UFMD).
2. THE DEVELOPER SHALL RETAIN A CERTIFIED ARBORIST ("THE ARBORIST") TO ENSURE THE PROPER IMPLEMENTATION OF THE TREE PRESERVATION PLAN ("THIS PLAN"). ALL WORK REQUIRED BY THIS PLAN SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE ARBORIST AS SPECIFIED IN THE SITE MONITORING SCHEDULE AND TO ENSURE THAT ALL ACTIVITIES ARE CONDUCTED IN ACCORDANCE WITH THIS PLAN. ANY APPLICABLE DEVELOPMENT CONDITIONS AND/OR AS APPROVED BY UFMD. MONITORING SHALL OCCUR AT ALL TIMES DURING THE INSTALLATION OF TREE PROTECTION FENCING AND, DURING ANY CLEARING OR GRADING, REMOVAL OF TREES, VEGETATION, OR STRUCTURES OR THE TRANSPLANTING OF TREES OR VEGETATION, OR ANY OTHER SIMILAR ACTIVITIES ON THE SITE WITHIN 25 FEET OF THE LIMITS OF CLEARING AND GRADING.
3. PRIOR TO ANY CONSTRUCTION ACTIVITY, ALL INDIVIDUAL TREES AND GROUPS OF TREES SHOWN TO BE PRESERVED ON THIS PLAN SHALL BE PROTECTED BY FENCING AS SPECIFIED ON THIS PLAN. THE PROTECTIVE FENCE INSTALLATION SHALL BE MONITORED AS NOTED IN THE SITE MONITORING SCHEDULE. THE FENCING SHALL BE MADE CLEARLY VISIBLE TO ALL CONSTRUCTION PERSONNEL. THE FENCING SHALL BE INSTALLED PRIOR TO ANY WORK OR CONSTRUCTION ACTIVITIES AND IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THIS PLAN.
4. THE ARBORIST SHALL WALK THE LIMITS OF CLEARING AND GRADING WITH AN URBAN FORESTER FROM UFMD AS NOTED IN THE SITE MONITORING SCHEDULE. ANY ADJUSTMENTS AGREED TO BY THE ARBORIST AND UFMD SHALL BE MEMORIALIZED IN WRITING BY BOTH PARTIES BEFORE ANY SUCH ADJUSTMENTS ARE IMPLEMENTED. TREES TO BE REMOVED SHALL BE TAGGED IN THE FIELD. TREES WITHIN THE UNDISTURBED AREA THAT ARE IDENTIFIED IN WRITING BY UFMD AS DEAD OR DYING, IN POOR CONDITION (INCLUDING DISEASED AND DAMAGED), OR TREES THAT POSE A POTENTIAL HAZARD TO HUMAN HEALTH OR PROPERTY MAY BE REMOVED AS PART OF THE CLEARING OPERATION. ANY TREE THAT IS SO IDENTIFIED SHALL BE REMOVED USING A CHAIN SAW AND SUCH REMOVAL SHALL BE ACCOMPLISHED IN A MANNER THAT AVOIDS DAMAGE TO SURROUNDING TREES AND ASSOCIATED UNDERSTORY VEGETATION. IF A STUMP MUST BE REMOVED, THIS SHALL BE DONE USING A STUMP GRINDING MACHINE IN A MANNER CAUSING AS LITTLE DISTURBANCE AS POSSIBLE TO THE ADJACENT TREES AND ASSOCIATED UNDERSTORY VEGETATION AND SOIL CONDITIONS.
5. ALL TREE PRESERVATION RELATED WORK OCCURRING IN OR ADJACENT TO TREE PRESERVATION AREAS SHALL BE ACCOMPLISHED IN A MANNER THAT MINIMIZES DAMAGE TO VEGETATION TO BE PRESERVED, INCLUDING ANY WOODY AND/OR HERBACEOUS VEGETATION OCCURRING IN THE UNDERSTORY. TREES DESIGNATED FOR REMOVAL ALONG THE LIMITS OF DISTURBANCE SHALL BE REMOVED USING A CHAINSAW SO AS TO AVOID DAMAGE TO SURROUNDING TREES TO BE PRESERVED AND UNDERSTORY VEGETATION. THE USE OF POWER EQUIPMENT IN THESE AREAS SHALL BE LIMITED TO SMALL HAND-OPERATED EQUIPMENT SUCH AS CHAINSAWS. ANY WORK THAT REQUIRES THE USE OF LARGE MOTORIZED EQUIPMENT SUCH AS, BUT NOT LIMITED TO, TREE TRANSPLANTING SPREADS, SHO LOADERS, TRACTORS, OR ANY ACCESSORY OR ATTACHMENT CONNECTED TO SUCH EQUIPMENT SHALL NOT OCCUR UNLESS REVIEWED AND APPROVED IN WRITING BY UFMD.
6. AS PART OF THE IMPLEMENTATION OF THIS PLAN AND THE SITE PLAN, MANAGEMENT PRACTICES SHALL PROVIDE FOR THE PROTECTION OF UNDERSTORY PLANT MATERIALS, LEAF LITTER AND SOIL CONDITIONS FOUND IN AREAS TO BE LEFT UNDISTURBED, SUBJECT TO THE APPROVAL OF UFMD. THE APPLICANT SHALL ACTIVELY MONITOR THE SITE TO ENSURE THAT INAPPROPRIATE ACTIVITIES SUCH AS THE STORAGE OF CONSTRUCTION MATERIALS, DUMPING OF CONSTRUCTION DEBRIS, AND TRAFFIC BY CONSTRUCTION EQUIPMENT AND PERSONNEL, DO NOT OCCUR WITHIN THESE AREAS. THE UNDERSTORY PLANT MATERIALS, LEAF LITTER AND SOIL CONDITIONS SHALL BE RESTORED BY THE APPLICANT TO THE SATISFACTION OF UFMD IF THESE ARE FOUND TO BE DAMAGED, REMOVED OR ALTERED IN A MANNER NOT ALLOWED IN WRITING BY UFMD.
7. PRIOR TO THE SITE PRE-CONSTRUCTION MEETING AND SITE WALK WITH AN URBAN FORESTER FROM UFMD AND THE ARBORIST, THE APPLICANT SHALL HAVE THE LIMITS OF CLEARING AND GRADING MARKED WITH A CONTINUOUS LINE OF FLAGGING.
8. AT LEAST THREE DAYS PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING, OR DEMOLITION ACTIVITIES AND PRIOR TO THE INSTALLATION OF TREE PROTECTION FENCING, UFMD SHALL BE NOTIFIED IN WRITING AND GIVEN THE OPPORTUNITY TO INSPECT THE SITE TO ASSURE THAT ALL INDIVIDUAL TREES TO BE PRESERVED AND ALL AREAS TO BE LEFT UNDISTURBED HAVE BEEN CORRECTLY DELINEATED. UFMD SHALL PROVIDE WRITTEN NOTICE TO THE APPLICANT AS TO WHETHER OR NOT THE AREAS HAVE BEEN DELINEATED CORRECTLY. IF IT IS DETERMINED BY UFMD THAT THE AREAS ARE NOT DELINEATED CORRECTLY, NO GRADING OR CONSTRUCTION ACTIVITIES SHALL OCCUR ON THE SUBJECT PROPERTY UNTIL THE DELINEATION IS CORRECTED AND FIELD VERIFIED BY THE UFMD.
9. **ROOT PRUNING:** ROOT PRUNING SHALL BE PERFORMED WHEREVER GRADES WILL BE ALTERED WITHIN THE CRITICAL ROOT ZONE OF A TREE TO BE PRESERVED AND SHALL BE CONDUCTED WHERE SHOWN ON THE PLAN OR AS MOST PRACTICAL GIVEN SITE CONSTRAINTS. A VIBRATING PLOW, TRECHER, STUMP OUTER OR ARBORIST APPROVED EQUIPMENT SHALL BE USED TO A DEPTH OF 18 INCHES. IF A TRECHER IS USED THE TRENCH SHALL BE BACKFILLED IMMEDIATELY TO PREVENT ROOT DRYROTATION. IF SILT FENCE IS TO BE INSTALLED AT THE LIMITS, THE ROOT PRUNING TRENCH MAY BE USED FOR THE INSTALLATION OF SILT FENCE. WHEREVER POSSIBLE, ROOT PRUNING TRENCHES SHOULD BE MULCHED WITH WOOD CHIPS OR MULCH FOUR INCHES DEEP.
10. **WOOD CHIPS OR MULCH:** WOOD CHIPS OR LEAF AND BRANCH MULCH SHALL BE PLACED AROUND THE LIMITS OF CLEARING AND GRADING IN AREAS WHERE TREES ARE WITHIN 20' OF THE LIMITS OF CLEARING AND GRADING AS SHOWN ON THIS PLAN. CHIPS OR MULCH THAT ARE PRODUCED AS A RESULT OF CLEARING OPERATIONS ON-SITE MAY BE USED FOR THIS PURPOSE AND SHALL BE PLACED BY HAND WITHOUT THE USE OF ENGINE-DRIVEN MACHINERY. CHIPS OR MULCH ARE NOT TO BE PLACED MORE THAN TEN FEET BEYOND THE LIMITS OF CLEARING AND GRADING AND SHALL NOT BE PLACED AT A DEPTH OF NO MORE THAN FOUR INCHES WITHIN THE PRESERVATION AREAS. OUTSIDE THE PRESERVATION AREAS, WITHIN THE DISTURBED AREA, CHIPS OR LEAF AND BRANCH MULCH MAY BE PLACED AT A DEPTH NOT TO EXCEED TEN INCHES.



6A PHASED TREE PRESERVATION AREA - PHASE ONE
SCALE: 1" = 20'



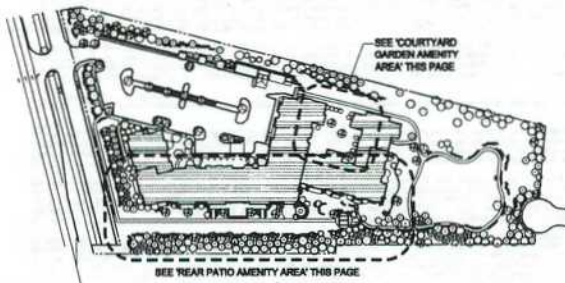
6B PHASED TREE PRESERVATION AREA - PHASE TWO
SCALE: 1" = 20'

BC Consultants
Planners • Engineers • Surveyors • Landscape Architects
15800 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
(703) 448-8100 (703) 448-8108 (Fax)
www.bccon.com



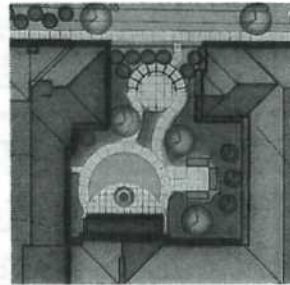
TREE PRESERVATION DETAILS
BRIGHTVIEW FAIR OAKS
 DEVELOPMENT, LLC
 FAIRFAX COUNTY, VIRGINIA

DATE REVISIONS	DESIGNED BY: FLB DRAFTED BY: CAD CHECKED BY: DOD DATE: SEPTEMBER 1, 2018 SCALE: HOR AS NOTED 10/1
PROJECT NUMBER	16537-PCA-PP
PROJECT ADDRESS	218 N. CHARLES STREET BALTIMORE, MD 21201
SHEET NO.	10 OF 20
CO. NO.	
FILE NO.	16537-01



AMENITY AREA PLAN

SCALE: 1" = 100'



COURTYARD GARDEN AMENITY AREA

SCALE: 1" = 30'



MISSION STYLE LIGHTING FIXTURE

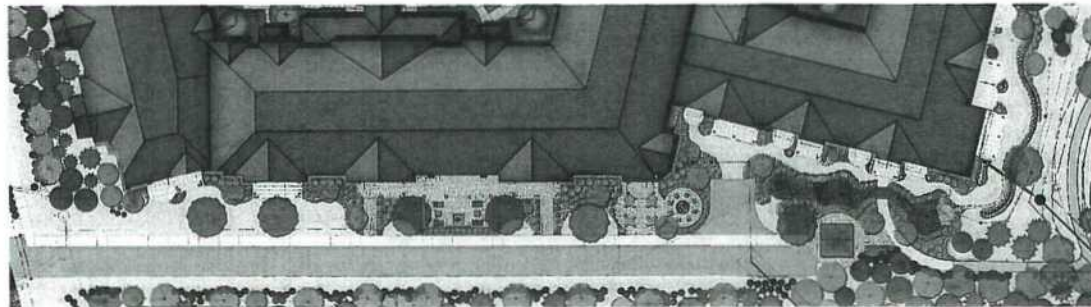
NO SCALE



BRIGHTVIEW ENTRANCE SIGNAGE

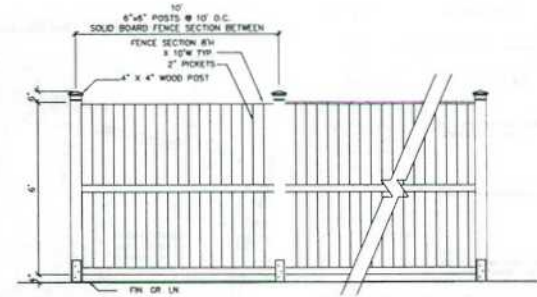
NOTE: SIGN WILL CONFORM TO FAIRFAX COUNTY SIGNAGE REGULATIONS

NO SCALE



REAR PATIO AMENITY AREA

SCALE: 1" = 30'



SOLID WOOD FENCE ELEVATION

SCALE: 3/8" = 1'-0"
BA-21039(2)



BRIGHTVIEW OUTDOOR AMENITY AREA- EXAMPLE A

PHOTO



BRIGHTVIEW OUTDOOR AMENITY AREA- EXAMPLE B

PHOTO



BRIGHTVIEW OUTDOOR AMENITY AREA- EXAMPLE C

PHOTO

NOTE: DETAILS IN THIS SHEET ARE INTENDED TO DEPICT THE GENERAL QUALITY AND CHARACTER OF INTENDED PRODUCTS. FINAL SELECTIONS MAY DIFFER FROM THOSE DEPICTED.

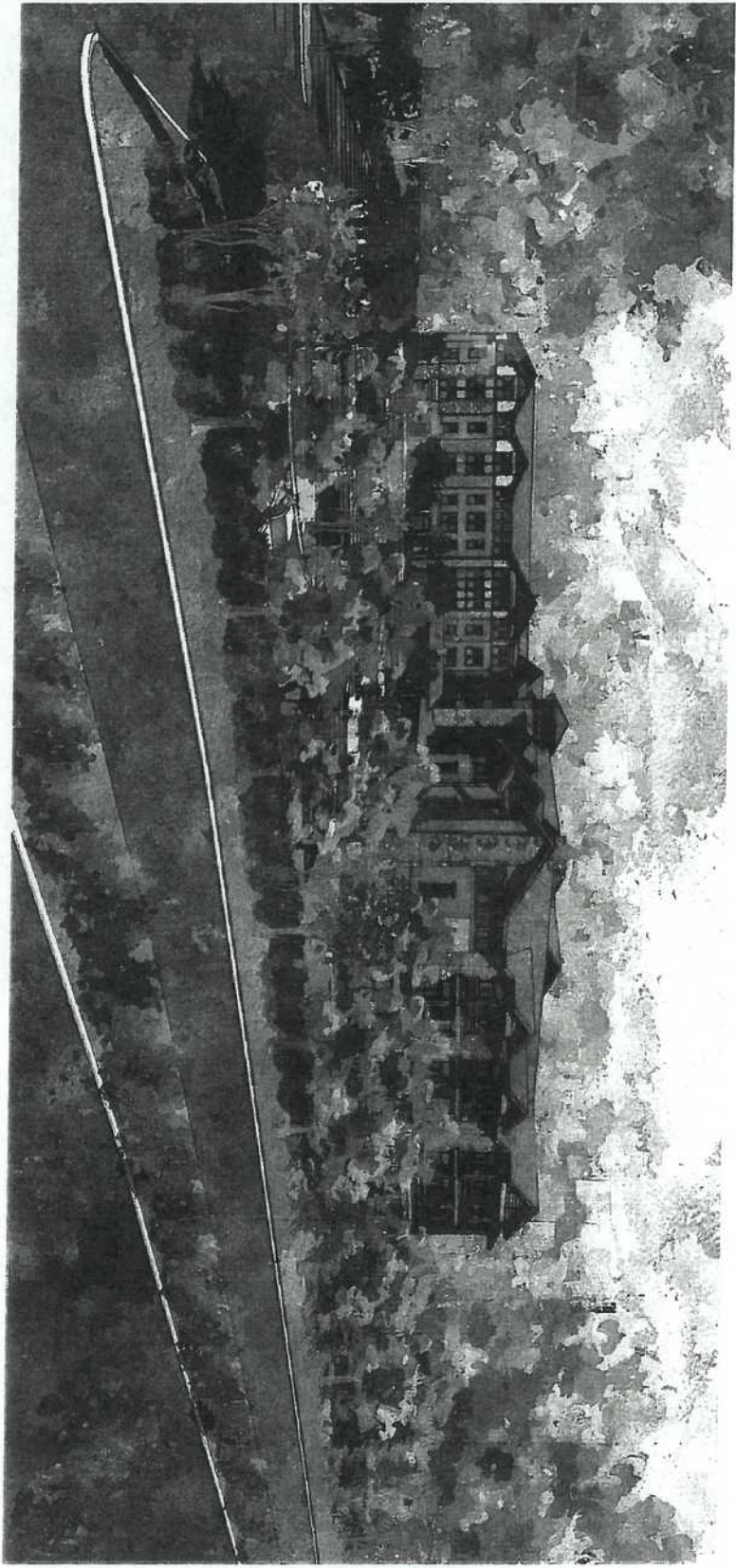
BC Consultants
Planner • Engineer • Designer • Landscape Architect
12800 Fair Lakes Circle, Suite 100, Fairfax, VA, 22033
(703)440-9100 (703)440-1108 (Fax)
www.bcva.com



SITE AMENITIES
BRIGHTVIEW FAIR OAKS
DEVELOPMENT, LLC
FAIRFAX COUNTY, VIRGINIA

DESIGNED BY: PLR
DRAWN BY: CAD
CHECKED BY: DOO
DATE: SEPTEMBER 3, 2019
SCALE: HOR AS SHOWN
VERT:
SHEET 11 OF 20
CD. NO.
CAD NAME: 18337-PCA-AMENITY
LAYOUT: AMENITIES
FILE NO: 18337-11

CONCEPTUAL ARCHITECTURAL RENDERING



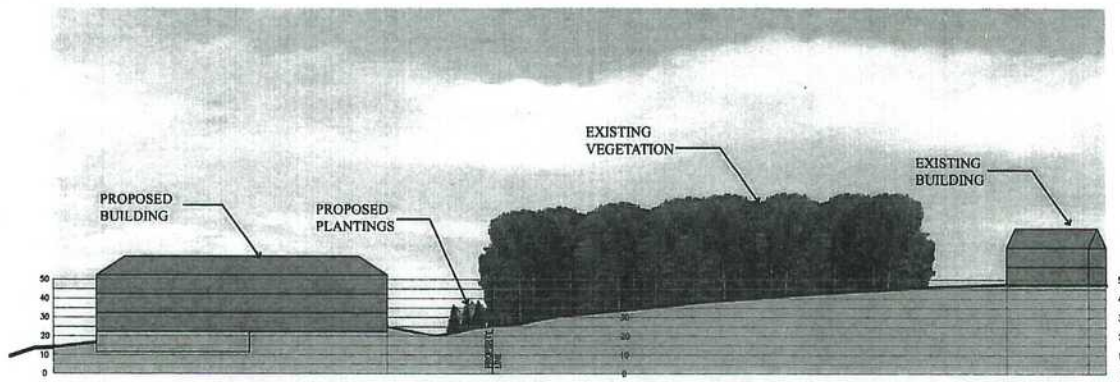
PERSPECTIVE
BRIGHTVIEW FAIR OAKS

DEVELOPMENT, LLC
 FAIRFAX COUNTY, VIRGINIA

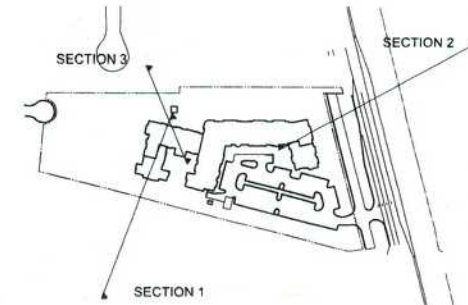


BC Consultants
 Planners - Engineers - Surveyors - Landscape Architects
 12800 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
 (703)449-8100 (703)449-8108 (Fax)
 www.bcon.com

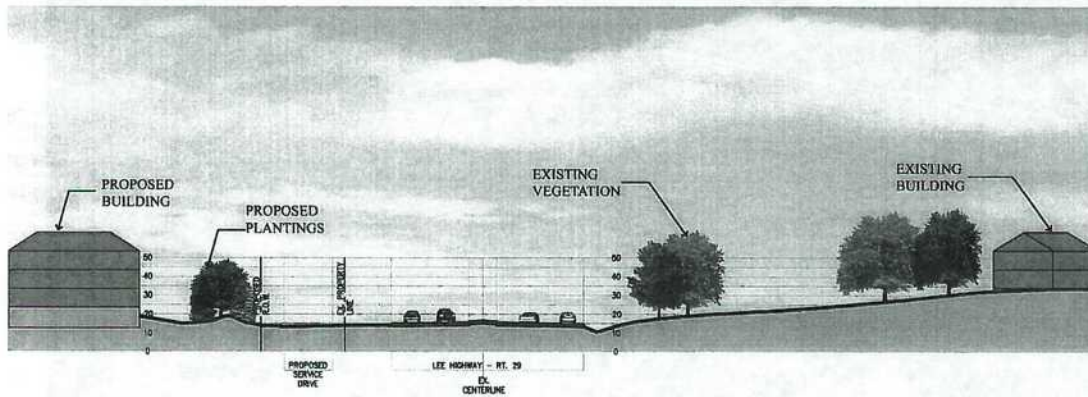
BC REVISIONS	
DESIGNED BY: JAE	
DRAWN BY: CAO	
CHECKED BY: DOB	
DATE: SEPTEMBER 1, 2019	
SCALE: 1/8" = 1'-0"	
SHEET: 12 OF 20	
CO. NO.	
CAD FILE: 190920-01.dwg	
LAYOUT: PERSET	
FILE NO: 190920	



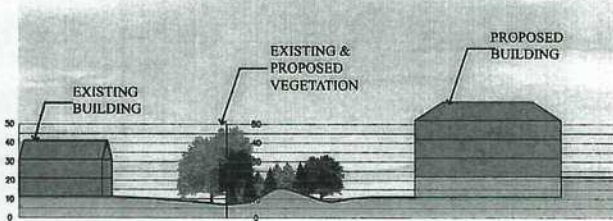
SECTION 1



KEY PLAN



SECTION 2



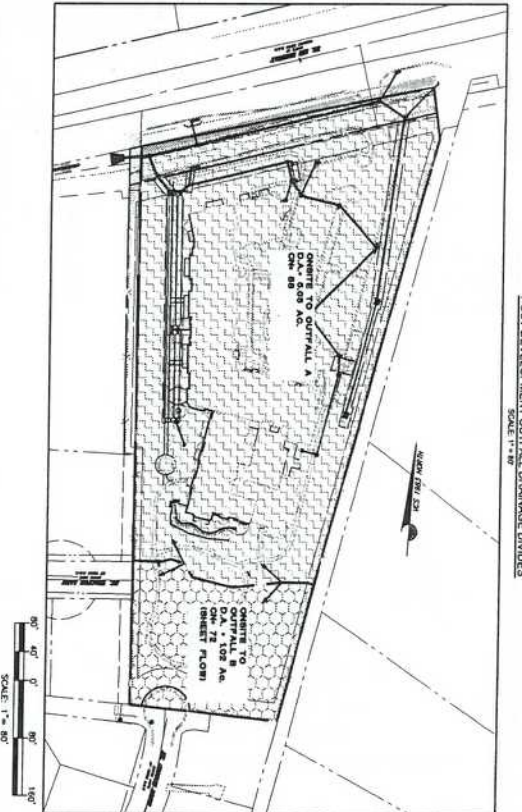
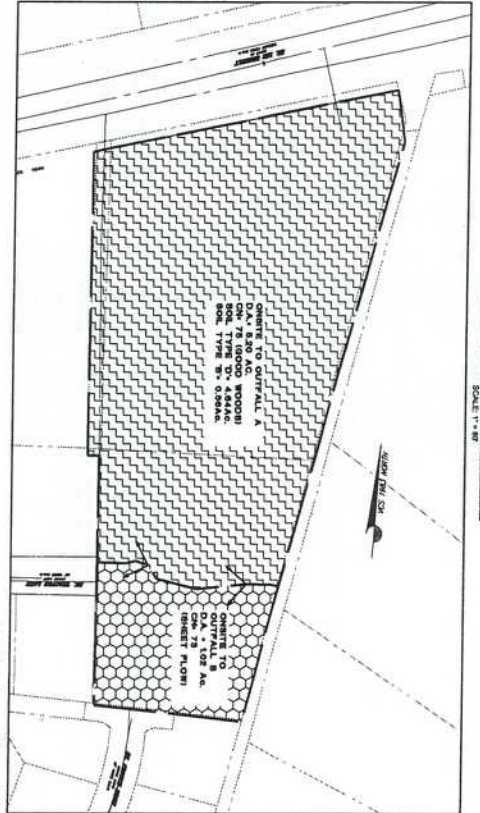
SECTION 3

BC Consultants
 Planning, Engineering, Survey, Landscape Architecture
 12880 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
 (703)449-8100 (Fax)
 www.bccon.com



SITE SECTIONS
BRIGHTVIEW FAIR OAKS
 DEVELOPMENT, LLC
 FAIRFAX COUNTY, VIRGINIA

DESIGNED BY: PLR
DRAFTED BY: CAD
CHECKED BY: DOO
DATE: SEPTEMBER 3, 2019
SCALE: HOR 1"=20'
VERT
SHEET 13 OF 20
CD NO.
CAD NAME: 16537-PCA-SECT
LAYOUT: SECTIONS
FILE NO. 16537.11

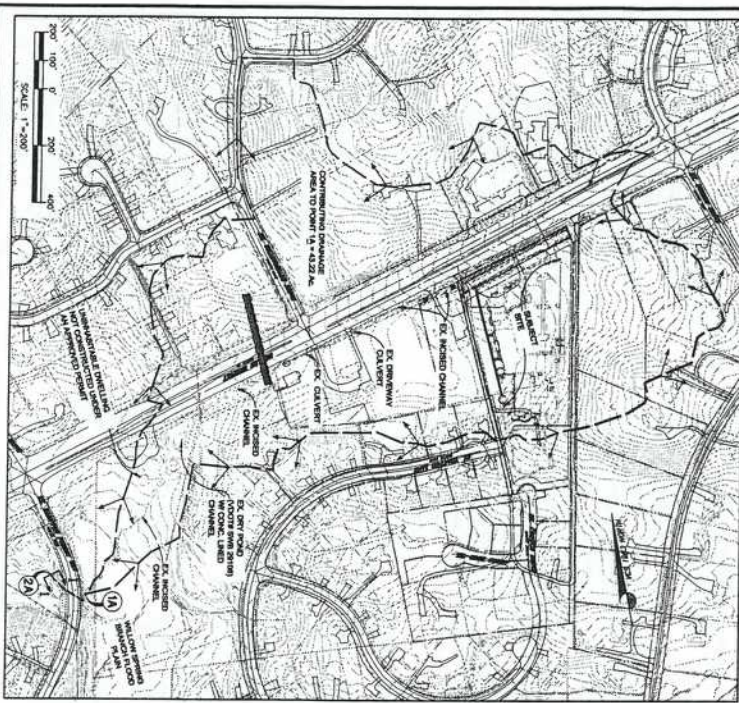


EXTENT OF REVIEW MAP

SCALE: 1" = 200'

ACCOMMODATE OUTFALL INFRASTRUCTURE

SCALE: 1" = 80'



THESE ARE THE (2) SITES FOR THE OUTFALL "A" PROPOSED AS A MAJORITY OF THE SITE IS PRE-DEVELOPMENT CONDITIONS THE ADEQUACY OF DRAINAGE FACILITIES FROM THE REVIEW PROPERTY BOUNDARY A DRAINAGE FACILITIES (SEE HIGHWAY RT. 20) IN A WESTERN DIRECTION. THE SHEET 202 COMPLETION DRAWINGS WILL BE DEVELOPED THROUGH A POST-DEVELOPMENT CONSTRUCTION. THE DRAINAGE IS COLLECTED THROUGH A DRAINAGE CANAL TO THE EXISTING STORMWATER DETENTION FACILITY AND SHALL BE RELOCATED FROM THE REVIEW FACILITY INTO THE EXISTING DRAINAGE DITCH OR CHANNEL (SEE THE COUNTY CODE FOR COMPLETION SHEET FLOOR) OVER THE EXISTING DRAINAGE FACILITY AND INTO THE EXISTING DRAINAGE DITCH ALONG WITH HIGHWAY (SEE THE COUNTY CODE FOR COMPLETION SHEET FLOOR) TO BE ACCOMMODATED TO THE EXISTING DRAINAGE FACILITY.

AS SHOWN THE DRAINAGE FACILITIES TO BE CONSTRUCTED SHALL BE A DRAINAGE CANAL TO ACCOMMODATE THE EXISTING STORMWATER DETENTION FACILITY TO BE RELOCATED FROM THE REVIEW FACILITY INTO THE EXISTING DRAINAGE DITCH OR CHANNEL (SEE THE COUNTY CODE FOR COMPLETION SHEET FLOOR) OVER THE EXISTING DRAINAGE FACILITY AND INTO THE EXISTING DRAINAGE DITCH ALONG WITH HIGHWAY (SEE THE COUNTY CODE FOR COMPLETION SHEET FLOOR) TO BE ACCOMMODATED TO THE EXISTING DRAINAGE FACILITY.

IN ORDER TO ACCOMMODATE THE EXISTING STORMWATER DETENTION FACILITY TO BE RELOCATED FROM THE REVIEW FACILITY INTO THE EXISTING DRAINAGE DITCH OR CHANNEL (SEE THE COUNTY CODE FOR COMPLETION SHEET FLOOR) OVER THE EXISTING DRAINAGE FACILITY AND INTO THE EXISTING DRAINAGE DITCH ALONG WITH HIGHWAY (SEE THE COUNTY CODE FOR COMPLETION SHEET FLOOR) TO BE ACCOMMODATED TO THE EXISTING DRAINAGE FACILITY.

CHANNEL PROTECTION

TO MEET CHANNEL PROTECTION CRITERIA, THE FLAT ELEVATION FROM THE ONE-YEAR 24-HOUR STORM AND THE 10-15 YEAR 24-HOUR STORM WILL BE DETERMINED USING CRITERIA (SEE HIGHWAY RT. 20) IN A WESTERN DIRECTION. THE DRAINAGE FACILITIES SHALL BE LIMITED TO PROTECT CHANNELS TO SHOW A DEFINED CHANNEL THAT IS AT LEAST ONE FOOT DEEPER THAN THE EXISTING CHANNEL.

FLOOD PROTECTION

TO MEET FLOOD PROTECTION CRITERIA, THE PEAK FLOW FROM THE 10-15 YEAR 24-HOUR STORM AND THE 10-15 YEAR 24-HOUR STORM WILL BE DETERMINED USING CRITERIA (SEE HIGHWAY RT. 20) IN A WESTERN DIRECTION. THE DRAINAGE FACILITIES SHALL BE LIMITED TO PROTECT CHANNELS TO SHOW A DEFINED CHANNEL THAT IS AT LEAST ONE FOOT DEEPER THAN THE EXISTING CHANNEL.

ONSITE STORMWATER DETENTION MAP - OUTFALL "A"

SCALE: 1" = 80'



KEY

- ONSITE DETAINED
- ONSITE UNDERDETAINED
- OFFSITE DETAINED

SCALE: 1" = 80'

DATE: 03/15/2018	BY: CJD
CHECKED: 03/15/2018	BY: CJD
DATE: 03/15/2018	BY: CJD
DATE: 03/15/2018	BY: CJD
DATE: 03/15/2018	BY: CJD
DATE: 03/15/2018	BY: CJD
DATE: 03/15/2018	BY: CJD
DATE: 03/15/2018	BY: CJD
DATE: 03/15/2018	BY: CJD
DATE: 03/15/2018	BY: CJD

STORMWATER MANAGEMENT COMPUTATIONS BRIGHTVIEW FAIR OAKS

DEVELOPMENT, LLC
FAIRFAX COUNTY, VIRGINIA



BC Consultants
Planners - Engineers - Surveyors - Landscape Architects
12800 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
(703)449-8100 (703)449-8108 (Fax)
www.bccon.com

Project Name: **Brightview - Fair Oaks**
Date: **11/01/19**

CLEAR ALL
(circled/boxed)

data input cells
constant values
calculation cells
total results

BMP Design Specifications List: 2013 Draft Stds & Specs

Site Information

Post-Development Project (Treatment Volume and Loads)

Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested		0.00		0.41	0.41
Managed Turf (acres) - disturbed, graded for yards or other turf to be		0.28		2.21	2.50
Impervious Cover (acres)		0.04		2.90	2.90
					5.90

** Forest/Open Space areas must be protected in accordance with the Virginia Runoff Reduction Method*

Constants	
Average Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Target Phosphorus (TP) (mg/L)	0.26
Total Nitrogen (TN) (mg/L)	1.86
Target TP Load (lb/acre/yr)	0.43
TN (unitless correction factor)	0.90

Runoff Coefficients (Rv)				
	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.55	0.50	0.52	0.35
Impervious Cover	0.85	0.95	0.95	0.85

Post-Development Requirement for Site Area

TP Load Reduction Required (lb/yr)	5.36
------------------------------------	------

Site Results (Water Quality Compliance)

Area Check	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
FOREST/OPEN SPACE (ac)	0.41	0.00	0.00	0.00	0.00	OK
IMPERVIOUS COVER (ac)	2.90	0.00	0.00	0.00	0.00	OK
IMPERVIOUS COVER TREATED (ac)	2.87	0.00	0.00	0.00	0.00	OK
MANAGED TURF AREA (ac)	2.29	0.00	0.00	0.00	0.00	OK
MANAGED TURF AREA TREATED (ac)	0.80	0.00	0.00	0.00	0.00	OK
AREA CHECK	OK	OK	OK	OK	OK	

Site Treatment Volume (ft³) **0**

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft ³)	524	0	0	0	0	524
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	7.73	0.00	0.00	0.00	0.00	7.73
TP LOAD REDUCTION ACHIEVED (lb/yr)	3.36	0.00	0.00	0.00	0.00	3.36
TP LOAD REMAINING (lb/yr)	3.76	0.00	0.00	0.00	0.00	3.76
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	3.76	0.00	0.00	0.00	0.00	3.76

Total Phosphorus

FINAL POST-DEVELOPMENT TP LOAD (lb/yr)	7.77
TP LOAD REDUCTION REQUIRED (lb/yr)	5.36
TP LOAD REDUCTION ACHIEVED (lb/yr)	3.36
TP LOAD REMAINING (lb/yr)	1.21
REMAINING TP LOAD REDUCTION REQUIRED (lb/yr)	1.39

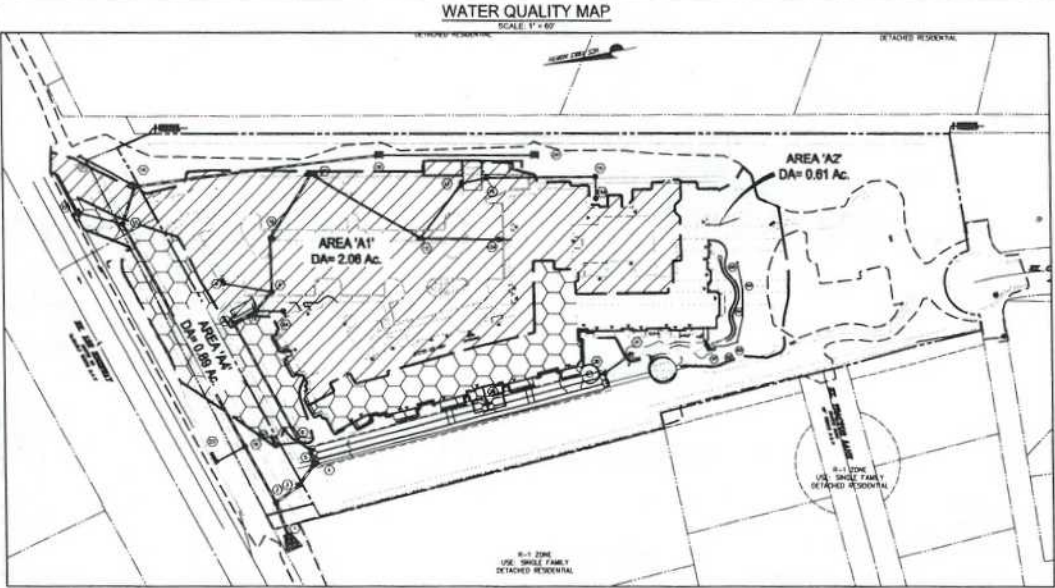
Total Nitrogen (For Information Purposes)

POST-DEVELOPMENT LOAD (lb/yr)	55.52
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	3.76
REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr)	51.82

Drainage Area A

Drainage Area A Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)		0.00		0.41	0.41	0.05
Managed Turf (acres)		0.28		2.21	2.50	0.24
Impervious Cover (acres)		0.04		2.86	2.90	0.95
Total						5.90

Practice	Runoff Reduction Credit (N)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed by Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
6. Stormwater (11)													
6.a. Stormwater #1 or Micro-Stormwater #1 or Urban Stormwater (Spec 29)	40	0.31	0.30	0	524	785	1,310	25	0.00	0.82	0.45	0.37	S&S MTD - Filtering
6.b. Stormwater #2 or Micro-Stormwater #2 (Spec 29)	80	0	0	0	0	0	0	90	0.00	0.00	0.00	0.00	
16. Manufactured Treatment Devices (no RR)													
16.a. Manufactured Treatment Device-Hydrobiomats	0	0.52	1.24	0	0	6,285	6,285	90	0.00	3.94	1.97	1.97	S&S MTD - Filtering
16.b. Manufactured Treatment Device-Filtering	0	0.58	0.83	7,970	0	9,474	9,474	80	2.34	1.51	1.54	2.81	None
16.c. Manufactured Treatment Device-Genetic	0	0.00	0.00	0	0	0	0	0	0.00	0.00	0.00	0.00	



MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waters will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance Sections:

Special Permits (Sec. 9-011 ZJ & ZL) Cluster Subdivision (Sec. 9-415 HG & IJ) Development Plans PRC District (Sec. 16-302 Z & 4)	Special Exceptions (Sec. 9-011 ZJ & ZL) Conventional Re-zoning Districts (Sec. 9-022 ZA (1) & (4)) PRC Plan (Sec. 16-303 VE & 110) Amendments (Sec. 16-302 (P) & 100)
--	--

1. Plot is at a minimum scale of 1"=50' (Unless it is depicted on one sheet with a minimum scale of 1"=100')
2. A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access road, site outlets, energy dissipation devices, and stream stabilization measures as shown on Sheet(s) 2-18. If infiltration is proposed the soils should be tested for suitability prior to submission of the development plan and results of the infiltration test provided as part of the description of the facility.

Facility Name/ Type & No.	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage volume (ft ³)	If pond, dam height (ft)
ISOLATOR ROW	2.67	0	2.67	N/A	N/A	
BAFFLE FILTER	2.06	0	2.06	N/A	N/A	
MINI-RETENTION BASIN	0.61	0	0.61	808	1,351	
Totals:	6.34	0	6.34	808	1,351	

3. Provide
 4. On-site drainage channels, outlets and pipe systems are shown on Sheet(s) 14-15. Pond inlet and outlet pipe systems are shown on Sheet(s) 14-15.
 5. Maintenance access (road) to stormwater management facility(ies) are shown on Sheet(s) 14-15. Type of maintenance access road surface noted on the plot is Grass Pave (asphalt, geotext, gravel, etc.)
 6. Landscaping and tree preservation in and near the stormwater management facility is shown on Sheet(s) 9.
 7. Stormwater management and BMP practices including Virginia Runoff Reduction Spreadsheet and descriptions of how detention and best management practice requirements will be met are provided on Sheet(s) 14-15.
 8. A description of existing conditions of each numbered site outlet accented downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet(s) 14. If the outlet is proposed to be improved off-site it should be specifically noted.
 9. A detailed description and analysis of how the channel protection requirements and flood protection requirements of each numbered outlet will be satisfied per Stormwater Management Ordinance and Public Facilities Manual are provided on Sheet(s) 14.
 10. Existing topography with minimum contour intervals of two (2) feet and a note as to whether it is an all survey or field can be provided on Sheet(s) 2 & 3.
 11. A submission waiver is required for N/A.
 12. Stormwater management is not required because N/A.

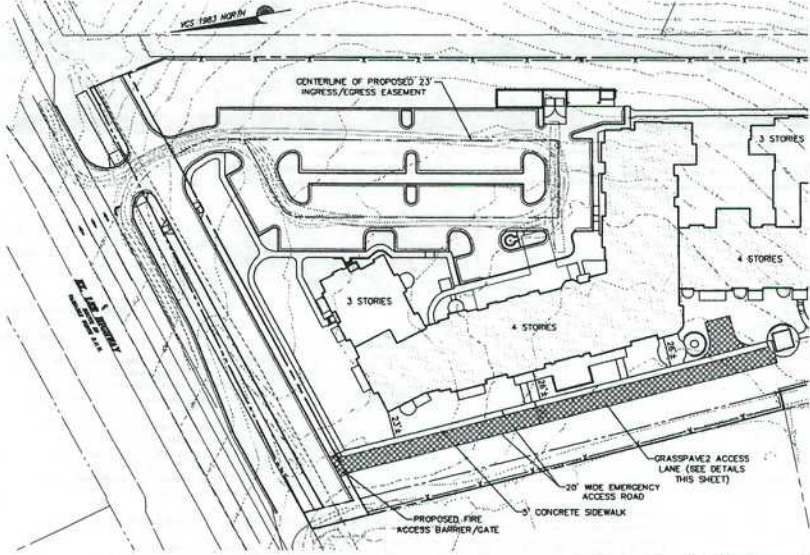
Revised: 8/4/2015

BC Consultants
Planner, Engineer, Surveyor, Landscape Architect
12800 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
(703) 449-8100 (Fax)
www.bccs.com

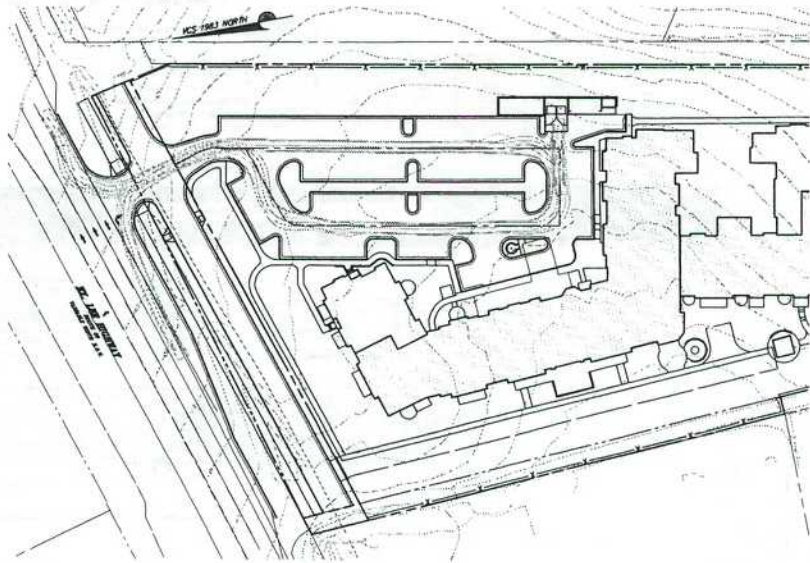


STORMWATER QUALITY COMPUTATIONS
BRIGHTVIEW FAIR OAKS
DEVELOPMENT, LLC
FAIRFAX COUNTY, VIRGINIA

DESIGNED BY: PLR
DRAWN BY: CAD
CHECKED BY: DOB
DATE: SEPTEMBER 3, 2019
SCALE: HOR 1" = 30' VERT 1" = 4'
SHEET 16 OF 20
JOB NO. 15537-PCA-BMP LAYOUT-BMP
FILE NO. 16537-11

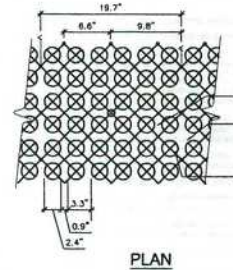


FIRE TRUCK ACCESS EXHIBIT



TRASH TRUCK ACCESS EXHIBIT

- GENERAL NOTES:
1. LADDER TRUCK ACCESS IS PROVIDED TO BOTH THE FRONT AND REAR OF THE BUILDING WHERE THE BUILDING IS MORE THAN FIVE STORES OR 50 FEET IN HEIGHT.
 2. THE SWM/BMP FACILITY UNDER THE FIRE LANE ALONG THE WESTERN PROPERTY BOUNDARY WILL BE DESIGNED AND CONSTRUCTED TO SUPPORT FIRE DEPARTMENT VEHICLE WEIGHT.
 3. ALL AREAS IDENTIFIED AS FIRE LANES, FIRE DEPARTMENT TURNAROUNDS, FIRE DEPARTMENT ACCESS AREAS OR OTHER RESTRICTED AREAS WILL HAVE BOLLARDS, PAINT, SIGNAGE AND OTHER REQUIRED IDENTIFICATION INSTALLED AS REQUIRED PRIOR TO STRUCTURE OCCUPANCY. THE SITE ADDRESS IS: 12725 LEE HIGHWAY, FAIRFAX, VA 22030.
 4. A CHANGE IN THE COLOR, DESIGN OR TYPE OF PAVING WILL DELINEATE WHAT PART OF THE PATIO IS IN THE FIRE LANE. NO PERMANENT STRUCTURES OR FEATURES ARE ALLOWED IN THIS AREA.



SPECIFICATIONS

UNIT SIZE - 50 CM X 50 CM X 2.5 CM (20" X 20" X 1") AVAILABLE IN 8 STANDARD HOLE SIZES

UNIT WEIGHT - 510 GRAMS (18 OZ.) OR 2.0 KG (4.5 POUNDS)

STRENGTH - 402 SO. KG/CM (5720 PSI) COLOR - BLACK (STANDARD) RECY - HDPE (WITH SOME POST-CONSUMER RECYCLED CONTENT)

MANUFACTURER: INVISIBLE STRUCTURES, INC. MODEL: GRASSPAVE 2 OR EQUAL

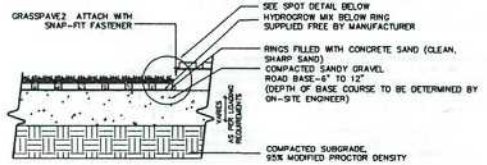
NOTE: INSTALL PER MANUFACTURER'S SPECIFICATION

QTY:

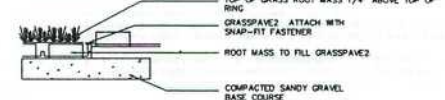
CHOOSE THIS PRODUCT FOR REINFORCING GRASS WEARING SURFACES

MANUFACTURER:

1587 COLE BLVD., SUITE 310
GOLDEN, COLORADO 80401
800-333-4999 OR 303-333-8380
FAX 303-333-8382
www.invisiblestructures.com
REV. 05/12



SECTION



SPOT DETAIL

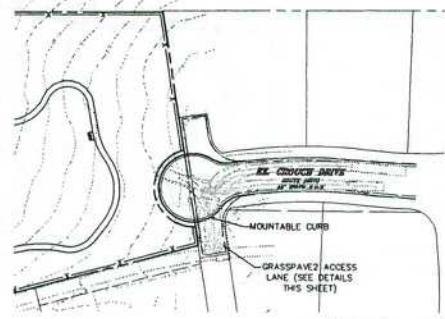
NOTE: GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER

NOT TO SCALE

100-GRASSPAVE 2

1
17 TYPICAL GRASSPAVE 2 DETAIL

NOT TO SCALE



FIRE TRUCK ACCESS EXHIBIT

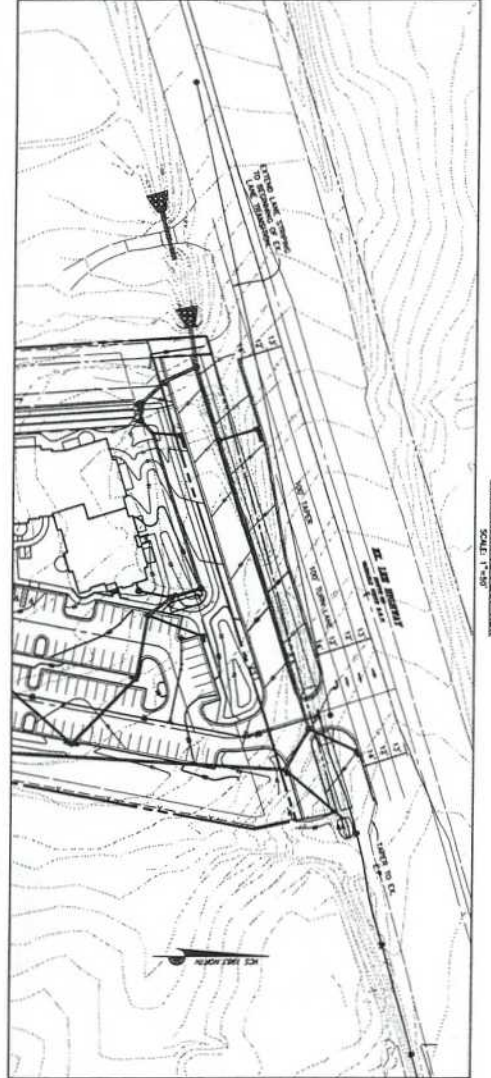
BC Consultants
Planners • Engineers • Surveyors • Landscape Architects
12800 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
(703)449-9100 (FAX)
www.bcconsultants.com



FIRELANE AND TURNING ANALYSIS
BRIGHTVIEW FAIR OAKS
DEVELOPMENT, LLC
FAIRFAX COUNTY, VIRGINIA

BC REVISIONS
DESIGNED BY: PLR
DRAFTED BY: CAD
CHECKED BY: DDD
DATE: SEPTEMBER 3, 2019
SCALE: HOR 1" = 50'
VERT
SHEET 17 OF 20
CO. NO.
CAD NAME: 16537-PCA-PRELIM
LAYOUT: FIRELANE
FILE NO: 16537-11

SIGHT DISTANCE PLAN VIEW
SCALE 1"=50'



NOTE: GRADING SHOWN FOR PROPOSED LANDSCAPE IS FOR INFORMATION ONLY AND IS NOT TO BE CONSIDERED AS FINAL ENGINEERING.

EX. LEE HWY. - RT. 29
APPROXIMATE DATE: 2008 (10/18)
CONTRACT NO. 29-0000-0000

425	425	385
420	420	390
415	415	395
410	410	400
405	405	405
400	400	410
395	395	415
390	390	420
385	385	425

FRONTAGE IMPROVEMENTS AND SIGHT DISTANCE
BRIGHTVIEW FAIR OAKS

DEVELOPMENT, LLC
FAIRFAX COUNTY, VIRGINIA

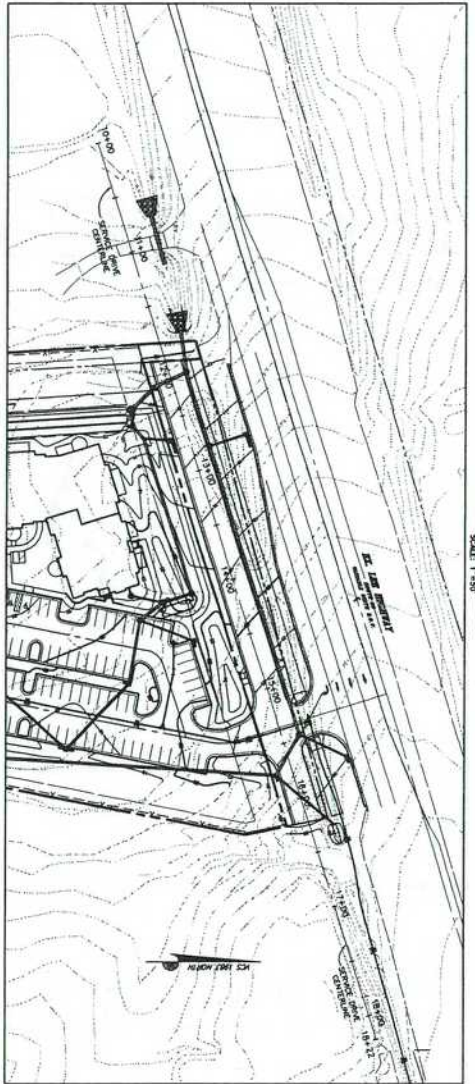
APPLICANT:
BRIGHTVIEW SENIOR LIVING
DEVELOPMENT, LLC
218 N. CHARLES STREET
SUITE 220
BALTIMORE, MD 21201

DATE: 08/18/11
SCALE: 1"=50'
SHEET: 18 OF 20



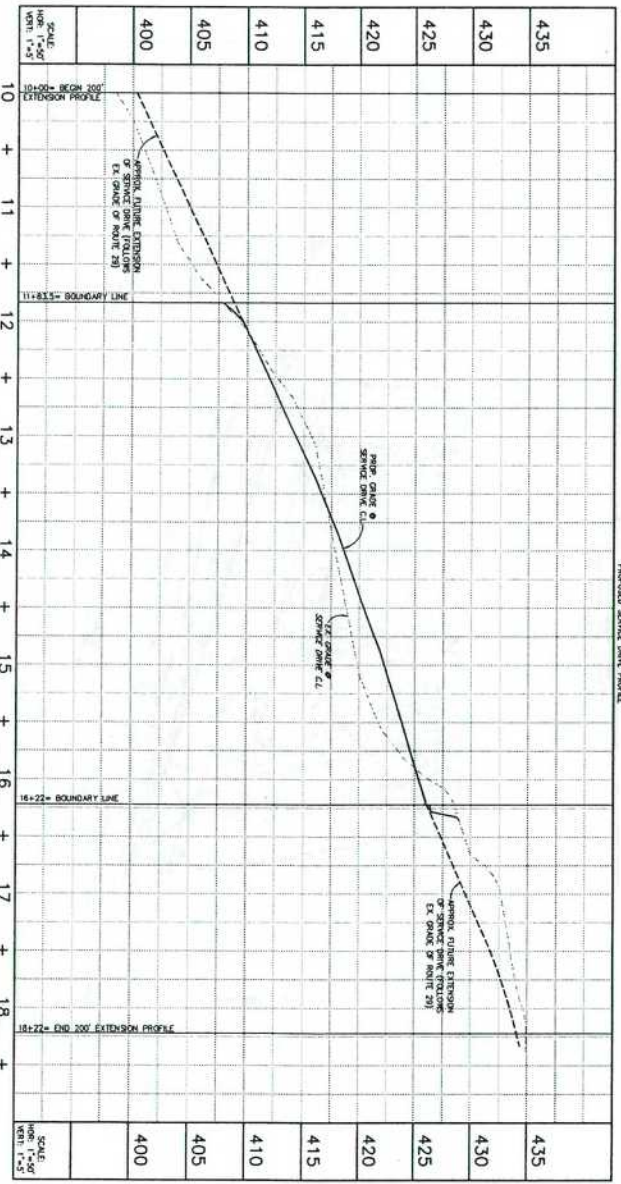
BC Consultants
Planners • Engineers • Surveyors • Landscape Architects

12800 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
(703)449-8100 (703)449-8108 (Fax)
www.bcon.com



SERVICE DRIVE PLAN VIEW
SCALE: 1"=50'

NOTE: GRADING SHOWN FOR
INTERNATIONAL AIRPORTS
WITH FINAL ENGINEERING



EX. LEE HIGHWAY - RT. 29
INTERSECTION SERVICE DRIVE PROFILE

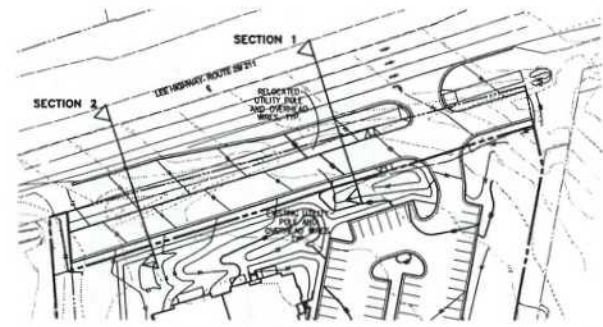
DESIGNED BY: RFB	BC REMMONS
CHECKED BY: CMO	
DATE: SEPTEMBER 23, 2018	
SCALE: 1"=50'	
DATE: 10/15/18	
SHEET: 19 OF 20	
CD: NAME: ISS17-PC-0085	
LAYOUT: SERVICE	
FILE NO.: 1853711	

SERVICE DRIVE PLAN AND PROFILE
BRIGHTVIEW FAIR OAKS

DEVELOPMENT, LLC
FAIRFAX COUNTY, VIRGINIA

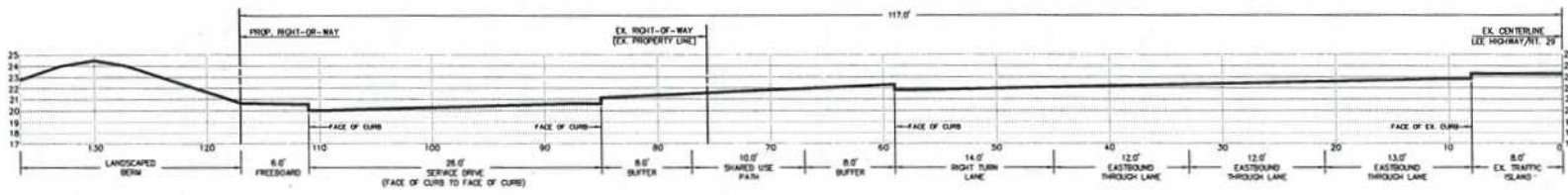


BC Consultants
Planners - Engineers - Surveyors - Landscape Architects
12000 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
(703)449-8100 (703)449-8108 (Fax)
www.bcon.com

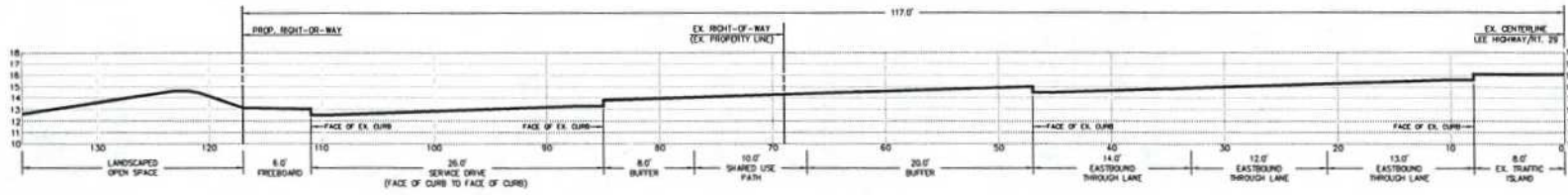


NOTE: GRADING SHOWN FOR INFORMATIONAL PURPOSES ONLY.
 GRADING MAY CHANGE WITH FINAL ENGINEERING.

SCALE: 1" = 50'



CROSS SECTION 1
 (WITH RIGHT TURN LANE)



CROSS SECTION 2
 (WITHOUT RIGHT TURN LANE)

BC Consultants
 Planners • Engineers • Surveyors • Landscape Architects
 12500 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
 (703)449-8888
 www.bcva.com



LEE HIGHWAY CROSS SECTIONS
BRIGHTVIEW FAIR OAKS
 DEVELOPMENT, LLC
 FAIRFAX COUNTY, VIRGINIA

DESIGNED BY: PJB
DRAFTED BY: CAD
CHECKED BY: ODD
DATE: SEPTEMBER 3, 2019
SCALE: HOR 1"=50'
VERT 1"=5'
SHEET 20 OF 20
CD NO.
CAD NAME: 1807-04-018-018-018-018
LAYOUT: SECTIONS
FILE NO. 16537.11

REZONING AFFIDAVIT

to Joellen
9/27/19

DATE: AUG 21 2019
(enter date affidavit is notarized)

I, Scott E. Adams, do hereby state that I am an
(enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below

in Application No.(s): _____
(enter County-assigned application number(s), e.g. RZ 88-V-001)

and that, to the best of my knowledge and belief, the following information is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE,**** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
Brightview Senior Living Development, LLC Agent: David D. Carliner Maria E. Miller	218 N. Charles Street, Suite 220 Baltimore, MD 21201	Applicant/Agent for Title Owner for Tax Map 55-4 ((1)) 36B
Brightview Fair Oaks Outlet Road, LLC Agent: David D. Carliner Maria E. Miller	218 N. Charles Street, Suite 220 Baltimore, MD 21201	Title Owner of Tax Map 55-4 ((1)) 36B
The BC Consultants, Inc. Agent: Dennis D. Dixon Dennis G. Casbeer	12600 Fair Lakes Circle, Suite 100 Fairfax, VA 22033	Engineer/Agent for Applicant

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Rezoning Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.

** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).